



In Your Dreams

A celebration of the Carmel lifestyle ... two special sections ... inside this week!



BULK RATE
U.S. POSTAGE
PAID
CARMEL, CA
Permit No. 149

The Carmel Pine Cone

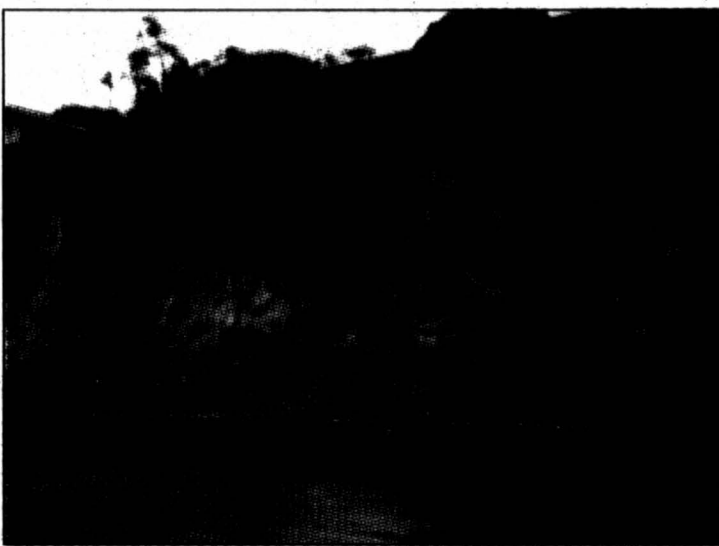
Volume 87 No. 25

On the Internet: www.carmelpinecone.com

June 15-21, 2001

YOUR SOURCE FOR LOCAL NEWS, ARTS AND OPINION SINCE 1915

■ WRINKLES SMOOTHED AT JUNIPERO



PHOTO/COURTESY CARMEL PUBLIC WORKS

Neither rocks, nor dirt, nor Jack Barker's house will rain onto Junipero, now that the intersection has been realigned and the cliff stabilized. See the full story on page 7A.



PHOTO/PAUL MILLER

Amid berries, honey and abalone shells, Carmel bear laid to rest

By MARY BROWNFIELD

THE WAYWARD brown bear that died after being hit with a fish-and-game-department tranquilizer dart May 23 was buried in a Native American burial ceremony June 9, according to Mary Ann Kline.

Kline and other members of local Native American groups asked the California Department of Fish and Game for permission to bury the animal.

"The bear is very sacred to all native peoples," said Kline.

On June 9 Rob Floerke, fish and game manager for the central coast, issued a permit for ceremonial burial of the bear to Kline, representing numerous native American groups, and to Rudy Rosales, representing the Ohlone/Coastanoan Tribe of Monterey County.

The same day, they conducted the burial ceremony on private property at an undisclosed location in the Carmel Hill area. The bear's remains had been kept at a Santa Cruz fish and game facility since a necropsy was performed May 25.

A property owner donated a burial spot for the bear, according to Kline, and she and others dug a grave in the rocky soil after collecting ceremonial herbs, Monterey Bay salmon and other items.

Participants purified the grave site and all in attendance

See **BURIAL** page 23A



PHOTO/MARY BROWNFIELD

The black bear that ventured into Carmel was buried in a Native American ceremony June 9.

FORMER MERCHANT MARINE READY TO CLIMB ABOARD MONTEREY COUNTY PLANNING COMMISSION

By TAMARA GRIPPI

IF MONTEREY County supervisors were looking for a new county planning commissioner who could weather a storm, they have certainly found her.

Meet Martha Diehl, former merchant marine who has served as a deck officer on oil tankers, managed crews of up to 94 hands aboard ship and taken charge of installing buried submarine telephone cable across the North Sea.

"She has what it takes to run a ship," said Supervisor Dave Potter, who chose her for the seat. "And the county planning commission is a boat you'd like to have running in the right direction."

Potter said Diehl, who lives in Big Sur, stood out as a candidate who can build consensus and "bring people together to have the right kind of discussion needed to make a decision."

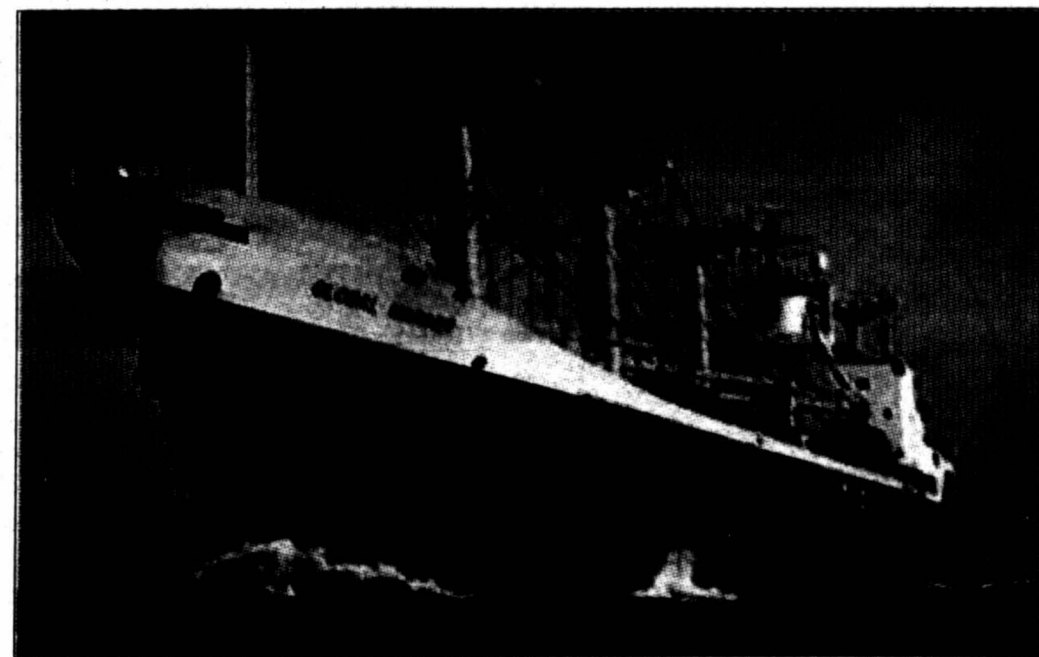
The supervisor believes Diehl's skill at leading in "very, very difficult situations," is more important than having an extensive background in land use planning.

Diehl will replace former commission chairman Scott Hennessy, who left the appointed board earlier

this year to accept the paid staff position of planning director.

The new planning commissioner's family roots in the Carmel area date back four generations. In 1917, her great

See **DIEHL** page 21A



The Global Mariner was home to new planning commissioner Martha Diehl during the seven years she was master of the ship.

Coastal commission delays decision on Hitchcock demolition, threatens permit moratorium

By MARY BROWNFIELD

LOS ANGELES — A PERMIT MORATORIUM was threatened again this week by the California Coastal Commission during debate over a plan to demolish an old home on Mission Street and replace it with a 13-unit residence for seniors.

"What's going to make this community get its LCP done is: No more of this," said chair Sara Wan, referring to Carmel's 25-year-late local coastal program which Mayor Sue McCloud has promised will be finished by the end of this year. "Where do we draw the line?" Wan asked.

Her comments came as the commission decided late Wednesday to put off until next month a decision on whether the 94-year-old Hitchcock House can be torn down.

The plan for the new senior care facility, initiated six years ago by John Mandurrango, was okayed by the city coun-

cil last year and upheld by Monterey County Superior Court Judge Robert O'Farrell March 5.

The coastal commission's staff recommended approval of the demolition with a requirement that Hitchcock House first be offered for relocation. If it couldn't be relocated, old building materials from the demolished home would be made available for other Carmel projects, according to staff, and a kiosk memorializing the Hitchcock family would be erected on the property.

Commissioner Mike Reilly, typically a strong advocate of preservation, initially said he would support staff's recom-

See **COASTAL** page 12A



John Mandurrango

New historic review process could mean 'surprises' at planning meetings

By TAMARA GRIPPI

CARMEL'S NEW system for evaluating historic properties — approved by the council June 5 after Judge Robert O'Farrell's recent ruling that the city's year-old rules were adopted illegally — could increase the number of last-minute challenges to demolition permits, according to Carmel Principal Planner Brian Roseth.

Roseth explained that the regulations formerly used by the city, which were thrown out by O'Farrell, provided "up-front" research into the possible historic value of any house more than 50 years old.

The new rules, unanimously adopted by

the council as an "urgency ordinance" — and printed this week on page 17A as a legal advertisement — only require that homes listed on the city's historic candidate list be evaluated for historic merit when homeowners want to tear them down or alter them.

While the old system required that at the very least a professional historian fill out a DPR (Department of Parks and Recreation) form assessing the historic merit of a house more than 50 years old, the new ordinance only covers officially designated homes, which number fewer than 20, and those homes on the candidate list, which number fewer than 200, according to Roseth.

The year-old system, used by the city in

an effort to comply with California Environmental Quality Act, was "a more deliberative approach that avoided surprises," Roseth said. "It created a little more certainty, at least earlier in the process."

Now homeowners may be able to avoid paying for consultants to investigate the historic merits of their homes at the outset. But that doesn't mean that opponents of their project won't come forward at the planning commission hearing to argue that the home is actually historic.

"Rather than doing that work up front, which the protocols required, it could be potentially done at the back end on the day the home is before the planning commission," Roseth said. "And it would be done on a case-by-case basis."

O'Farrell ruled that the city council "unlawfully tried to amend its ordinance" a year ago when it adopted a set of protocols to handle the demolition of older homes without writing a new ordinance and submitting it for environmental review.

The city attempted to use the protocols as a stopgap measure to get the city in compliance with CEQA on a new historic preservation program could be completed.

The protocols also raised the bar for historic properties, specifying that homes considered historically significant should be "outstanding examples, widely recognized and accepted" as representative of Carmel's

history, architecture and culture. Those criteria were also rendered meaningless by O'Farrell's ruling.

Additionally, O'Farrell's ruling means the candidate list of historic houses compiled by Enid Sales and the volunteers from Carmel Preservation Foundation, which was set aside by the city, is now again, "in full force," according to Roseth.

That list of properties was abandoned by the city amid complaints that the information used to compile it was incomplete.

Meanwhile, consultant Kent Seavey is conducting his own survey of Carmel's older homes, including a review of all the homes currently listed on the candidate list.

Roseth said he felt more comfortable with the process outlined by the protocols, calling it a "better planning process." But he didn't anticipate that replacing the protocols with the urgency ordinance — up for renewal in 45 days — would change the city's process.

Final 'design traditions' available for review

THE ENTIRE Design Traditions Project, which was approved on second reading by the Carmel City Council last week and officially goes into effect July 6, is printed in this week's Pine Cone as a legal advertisement, beginning on page 17A.

After spending nearly \$100,000 and four years to study a series of new residential design regulations, the council voted June 5 to put the proposal into law.

The final version of the design traditions project — originally launched to crack down on bulky-looking homes in town — includes an 18-month trial period for an innovative but complicated idea to limit home sizes by volume.

MERRELL Performance Footwear™



After Sport Mocs for Men and Women

the treadmill

SPORT TREADS & THREADS

TWO CONVENIENT LOCATIONS!

111 The Crossroads
Carmel • 624-4112

451 Washington Street
Monterey • 375-6778



QUICKSILVER FAST PHOTO

FILM PROCESSING
2-4 HOUR SERVICE

BEAUTIFUL PENINSULA AND COASTAL
SCENIC PHOTO NOTE CARDS

CHOOSE FROM OVER 100 IMAGES BY
LOCAL PHOTOGRAPHER DANIEL DANBOM

606 LIGHTHOUSE AVENUE * 375-1997
PACIFIC GROVE, CA 93950

Invisible Fence

Your dog safe @ home™

• Customized installation • Pet containment guaranteed

CALL 800.221.1378

For an In-Home consultation

"Where the heart is..."

"Father's Day"

Have you ever noticed how Father's Day and the final round of The U.S. Open Golf Championship occur on the same day, year after year? It's no coincidence. It's a way of honoring dads and golf in the same breath -- honoring the men who brought us up and taught us the value of work, the value of integrity and the value of

the glorious game of golf. My dad got me started over thirty years ago, and even though he's now gone, I think of him every time I line up a drive or read a putt. Especially on Father's Day. I hope you do too...



Richard Warren, Real Estate 626-1516
A member of The Mitchell Group
and the human race...

THE MITCHELL GROUP

www.RichardTWarren.com



Carmel Area Wastewater District

P.O. Box 221428 Carmel, California 93922
(831) 624-1248 • FAX (831) 624-0811

NOTICE OF PUBLIC HEARING

The Board of Directors of the Carmel Area Wastewater District will hold a public hearing at 1:30 p.m. on Thursday, June 21, 2001 in the District Boardroom, 3945 Rio Road, Carmel, CA 93923 to consider adoption of sewer service charges for sewage treatment and disposal, and adoption of the Final Budget for Fiscal Year 2001-2002. All sewer service users of the District, owners of property served or proposed to be served thereby, and others interested will be heard concerning the proposed service charges and District Budget. Copies of the Preliminary Budget for Fiscal Year 2001-2002 are available at the District Administration Office. If you have questions, call (831) 624-1248. Your comments are welcome.

Ray von Dohren
General Manager

SHE...

trendy, yet not
tragically so!!

CLOTHING • SHOES • JEWELRY
ACCESSORIES & GIFTS

SHE

110 Crossroads Blvd., Carmel
831.626.4686

THE CROSSROADS

CLINT EASTWOOD ADA CLAIM GOES BACK TO COURT

By PAUL MILLER

A DISABLED woman who sued former Carmel Mayor Clint Eastwood for alleged mistreatment at Mission Ranch is a civil rights pioneer — not a scam artist — according to her lawyers who were back in court this week seeking a new trial.

A jury awarded her nothing last fall after deciding that Diane zum Brunnen invented her story of visiting Mission Ranch to provide a basis for suing Eastwood.

Monday in San Jose, U.S. District Court Judge James Ware heard arguments from zum Brunnen's attorney, ADA specialist Paul Rein, that even if the jury didn't believe her story of being denied access to the Mission Ranch office and not being able to locate the disabled-accessible bathrooms, zum Brunnen is entitled to damages because Eastwood admitted there were several minor deficiencies in the handicapped-accessible facilities at the ranch.

In September, the jury decided zum Brunnen and her husband, Michael, briefly visited Mission Ranch in January 1996 for the sole purpose of taking a photo to be used as evidence in their suit against Eastwood.

Nevertheless, she is entitled to big money damages from Eastwood, Rein argued this week, under a 2000 federal

appeals court ruling that upheld damages awarded to a handicapped man who drove to a real estate office, noticed there were no handicapped parking spaces and gave up his plans to visit there.

Eastwood's Monterey attorney, Chuck Keller, argued that the previous decision isn't relevant because in that case the handicapped person intended to enter the real estate office to do business. He wasn't simply driving around looking for celebrities to sue.

"In this case, the jury decided that Mrs. zum Brunnen never intended to use the facilities at Mission Ranch and, therefore, suffered no damages or injury that would entitle her to relief in court," Keller said.

The difference is important, Keller added, because otherwise lawsuits could be filed by anyone who is aware of an accessibility problem.

The judge seemed to agree. If plaintiffs don't have to show they were actually denied equal access, Ware asked, "why would you even need a disabled person?"

During the trial last fall, Rein's strategy seemed to acknowledge the necessity of showing that his client tried to use the facilities at Mission Ranch.

Zum Brunnen and her husband told numerous details of how they arrived at the ranch on a Sunday afternoon with the

sole purpose of enjoying themselves in beautiful Carmel. They testified for hours about where they went, what they were told, what they ate, and how she suffered physical and emotional pain because she couldn't find the handicapped-accessible restrooms at Mission Ranch.

After the jury didn't believe her story, Rein argued that the whole episode didn't have to be true for zum Brunnen to be entitled to a damage award and attorney's fees approaching \$1 million. It was enough for her to establish that she was disabled, that she visited Mission Ranch for whatever purpose, and that disability-access violations existed there.

"They argued their case in front of the jury based on a set of facts they alleged were true," Keller said. "They can't change to a different set of facts now, just because the original story didn't work out."

Judge Ware did not say when he would rule on the motion for a new trial.

YOU'VE SEEN HIM ON CNBC & FOX NEWS
Here is your chance to meet him in person

AN EVENING WITH JOHN FUND

Editorial Board, Wall Street Journal

Hyatt Regency Monterey
Sat. June 23

Hosted Reception ~ 5:30 pm ~ \$30
Dinner & Program ~ 7:00 pm ~ \$70
Live & Silent Auction*

RSVP Connie Perry (831) 647-9225

Hosted by Region IX, Northern Division,
CFRW, Box 45, Monterey

*Proceeds benefit local scholarship & community programs



Wonderful things are happening
for Fathers in Pacific Grove!

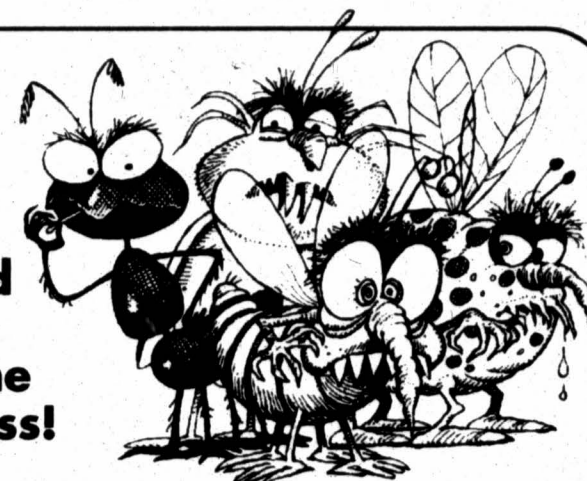
Father's Day

Sunday, June 17th

Find the perfect gift for Dad Downtown!

373-3304
www.bestofpg.com

Get rid
of those
creepy
unwanted
guests in
your home
or business!



CASNER
EXTERMINATING COMPANY

Complete Pest Control and Termite Work

Monterey • 373-6400
Salinas • 757-6000

CHURCH SERVICES

The Church of the Wayfarer

(A United Methodist Church)

Worship Sundays at 10 am
at this historic church at
Lincoln and 7th in
Carmel-by-the-Sea.

Classes for adults at 9 am
(child care provided).
Children's choir and
weekly preschool
programs available.

Saturday Night Alive Soul Café and Contemporary Service

held downstairs in
Carlson Hall
1st & 3rd Saturdays
of the month beginning at
5:00 p.m.
Childcare provided.

624-3550

www.churchofthewayfarer.com

Carmel Mission Basilica

Sat. Mass: 5:30 pm fulfills
Sunday obligation.

Sun. Masses: 7:00, 8:00,
9:30 & 11:00 am and 12:30
& 5:30 pm.

Confessions: Sat. 3:30 to 5:30
Days before First Friday and
Holy Days 4:00 to 5:00.

Mass at Big Sur: Sundays
at 10:30 am.

Rio Road, Carmel

St. John's Chapel

1490 Mark Thomas Dr.
Monterey

Traditional
Episcopal Worship
1928 Prayer Book

Sunday: 8:00 & 10:30 a.m.
Wednesdays: 10:00 a.m.

375-4463

"Worship the Lord in the
Beauty of Holiness"

All Saints' Episcopal Church

Sunday Eucharists at 8 am,
10:30 am and 5:30 pm.
Eucharist Thursdays at noon.
Sunday nursery care
at 10:30 am service.
Music at all services.

Dolores St. & 9th Ave.

624-3883

Join us at Carmel Presbyterian Church

Ocean at Junipero,
Carmel-by-the-Sea
831-624-3878

† Contemporary Worship
Service at 8:30 AM
† Traditional Service at 10 AM
† Children and Youth
Sunday School at 10:00 AM
† Adult Class at 8:30 AM

Oxbridge®

MEN'S CLOTHING

6TH & DOLORES STREETS • CARMEL • 624-4868

Must Close Store

Over \$1,000,000 IN STOCK TO BE LIQUIDATED

Famous Names — Major Markdowns
Every piece of merchandise must be sold!

Save Up to 80% OFF

NOTHING HELD BACK
All Sales Final • No Exchanges or Refunds

TOTAL LIQUIDATION

Oxbridge®

MEN'S CLOTHING

6TH & DOLORES STREETS • CARMEL • 624-4868

Because of the nature of this sale, there will be no alterations on merchandise. ALL SALES FINAL!



Police & Sheriff's Log

The rock cod just couldn't wait

HERE'S A look at some of the significant calls logged by the Carmel-by-the-Sea Police Department and the Monterey County Sheriff's Department last week.

SUNDAY, JUNE 3

Carmel-by-the-Sea: Report of two men urinating in public and in front of juveniles on the beach near the 11th Ave. stairway.

Conducted an area check for the two subjects with negative results. Conducted a patrol of the entire beach inclusive of surfing competition near the 11th Avenue stairway. No violations noted.

Carmel-by-the-Sea: Parking control reported a woman looking for her overdue daughter, 15, and her friend, 15, at Del Mar. The daughter and friend were reportedly overdue by three hours. The reporting party stood by at Del Mar. Upon officer's arrival, woman advised that she had located her daughter and her daughter's friend.

Carmel-by-the-Sea: Gas station reported a suspicious phone call inquiring whether the vehicle repair area was locked and if bank bags were still located beneath the counter in the cashier area. Later, gas station advised it was a misunderstanding between an employee and his friend.

Carmel-by-the-Sea: Report of a blue duffel bag at Monte Verde and 11th. Determined to be

full of garbage.

Carmel-by-the-Sea: Fifty-eight-year-old female fell at First Murphy Park, sustaining an abrasion to her right knee.

Carmel-by-the-Sea: Vandalism reported to a large glass sliding exterior door at home near Scenic and 12th.

Carmel-by-the-Sea: Camcorder reported lost at shop on Lincoln near Ocean.

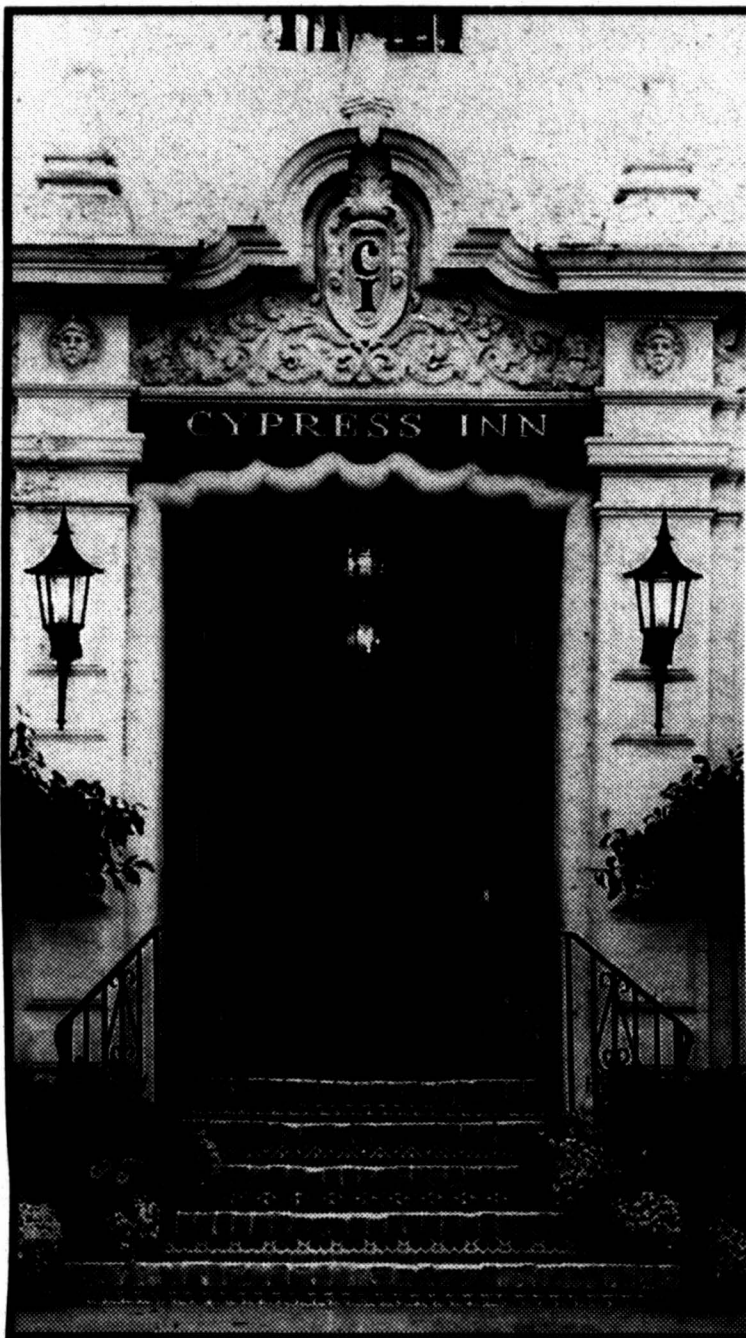
Carmel-by-the-Sea: Male subject feeling faint at restaurant on Fifth. Transported to CHOMP.

Carmel-by-the-Sea: Report of a dead seal on beach. Seal located; public works will remove.

Carmel-by-the-Sea: NSF check received at store on Junipero.

Carmel-by-the-Sea: Water leak on San Antonio near 9th. Cal-Am notified.

See POLICE LOG page 4 B



Cypress Inn Hotel

Carmel's Landmark Hotel
since 1929

Afternoon Tea
Served from 2:00 to 3:45 pm Daily
(Reservations required)

Lincoln and 7th, Carmel

Box Y, Carmel, CA 93921

800/443-7443 (CA)

831/624-3871

PEBBLE BEACH COMPANY



invites you to attend the 2001 Concours d'Elegance

We invite you to attend one of our
Temporary Employee Selection Sessions:

There will be an "Express Line" available for returning employees!

Monday, July 9th - 8:00 AM - 6:00 PM

Tuesday, July 10th - 8:00 AM - 6:00 PM

(or until all positions are filled, whichever comes first)

WHERE?

Conference Center at The Lodge

(Across from the Wells Fargo parking lot)

We will be interviewing for the following temporary positions:

Bartenders	Barback	Cooks/Pantry
Food Servers	Sales Associates	Buspersons
Dishwashers	Hostpersons	Housekeepers
Storeroom Clerks	Parking Attendants	Van Drivers* 21 years old
Shuttle Drivers*	Food Runners	Security

If hired, candidates must be able to provide photo ID and proof of US employment eligibility at the Employee Selection Session.

*Van/Shuttle drivers must bring their original DMV printout dated no earlier than July 4, 2001
EOE/Drug Free Workplace

Carmel Pine Cone fax numbers:

Newsroom: 624-8076 Advertising: 624-8463

THE NEW YORK TIMES MAGAZINE CROSSWORD PUZZLE

BASKETRY

BY CATHY MILLHAUSER / EDITED BY WILL SHORTZ

ACROSS

1 They're wrapped in wool
6 Addis ____
11 One treating swelling, perhaps
15 Doll's cry
19 Like Kublai Khan
20 Command that "tracks" Santa
21 Inking
22 Debate position
23 & 25 What happens when a basket maker drinks too much?
27 Nissan sedan
28 Like graduates
30 How to dress for a ball
31 Overhaul
33 Encumbrance
35 Superior residence?
36 Mata ____
39 Aspiring basket maker's song?
44 Terrain
45 High-profile haido
46 Painkiller made by Bayer
47 Singer Boone
51 Certain encumbrance
52 Females with pig-tails
54 Army uniform fabrics

56 Barcelona Olympics quest
57 ____ Navy
58 Make, then use, a picnic basket?
62 Roller coaster unit
63 Play with clay
65 Sunbather's need
66 Rub off
69 Don't believe it!
70 Under Helios's influence
71 Monastery, maybe
72 Italian treat
73 Atomizer output
74 Home of the ancient city Colophon
75 Piercing tool
76 Basket worker's motto?

80 Co. founded as Western Air Express
83 Detective story writer Manfred
84 Lion in "Narnia" tales
85 Actor McGregor
86 Wing: Prefix
87 "What ____!" ("Ho-hum")
89 Spring
92 Part of an oratorio
94 Sound worked up
95 Basketry pattern book?
98 Purposes

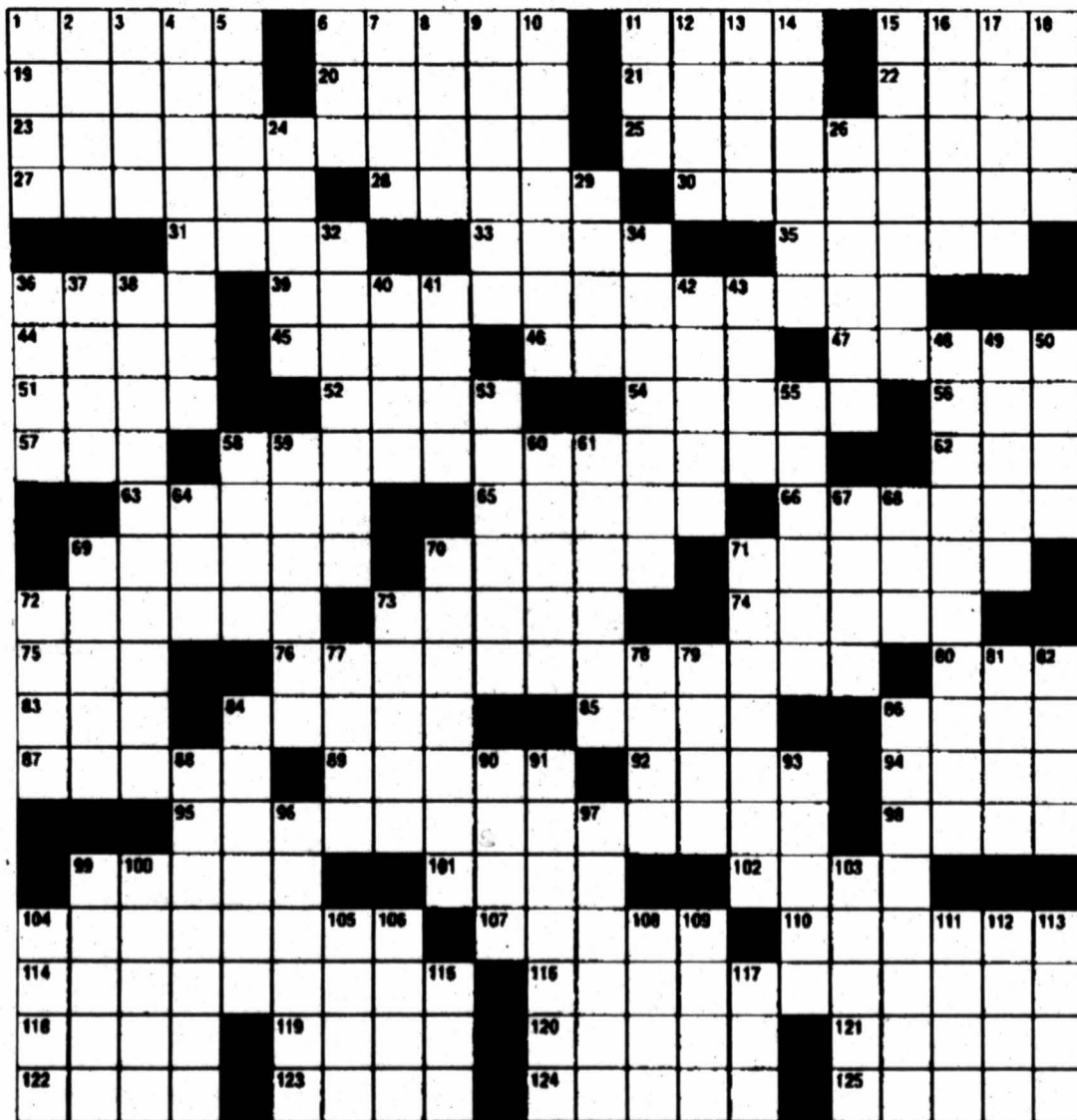
99 Nixon Commerce Secretary Maurice
101 Bygone player
102 W.B.A. stats
104 Bitterness
107 Consumer reading
110 Invisible
114 Compliment on basketry?
116 Fish-basket makers?
118 French pen pal, maybe
119 Promise and such, in brief
120 Nets
121 Liqueur flavorer
122 Basket-of-____ (yellow perennial)
123 Give or take
124 Hair net
125 Former Renault

DOWN

1 Filly
2 Queens stadium name
3 Personal air
4 Kind of camel
5 Pitfall
6 "A Bug's Life" bug
7 Nuclear theorist Niels
8 King of 50's-60's comics
9 Panama port
10 Supplemental material
11 Freud's ego?

12 G, maybe
13 Shared currency unit
14 Cover over
15 Ghastly
16 Bracelet site
17 3,000-ft. Nev. peak
18 Light and open
24 Music teacher/conductor Boulanger
26 Fixes firmly
29 ____-purpose
32 Illegally ahead of the puck
34 Loser
36 Charismatic glow
37 Seed covering
38 Hit man for the basketry supplier?
40 Vitamin pill addition
41 British commander who captured New York City, 1776

42 Printemps month
43 Aim
48 Basket workers' retirement locale?
49 ____ bill, opposed by 64-Down
50 Long ago
53 Zen illumination
55 Have a relation to
58 An udder thing
59 Prairie schooners
60 Atari founder Bushnell



61 Hickman who played Dobie Gillis
64 See 49-Down
67 Twining stem
68 Lyon king
69 Sounded plaintive
70 Cordovan, e.g.
71 Key person?
72 Ball
73 Lean
77 Norwegian king

78 Man ____
79 Cherished, as a bambina
81 Proceed
82 Foundations may support them
84 To-be-covered list
86 Start of a touch-tone telephone instruction
88 Was expecting
90 Dirty
91 Expunges

93 Invite to a penthouse
96 Famed sci-fi writer
97 "The Prophet" poet
99 Jerk
100 Pursue
103 1993 N.B.A. Rookie of the Year
104 Like gossiping tongues

105 Prefix with conference
106 Nieuwpoort's river
108 First name in architecture
109 Jay seen at night
111 "Titanic," e.g.
112 Designer Schiaparelli
113 Poetic adverb
115 Elf
117 It's dropped on trips

The Golden Years



By Myles Williams

A thirty-year-old study just released shows that an optimistic perspective gives you a lifespan up to nineteen percent longer than your pessimistic counterpart. Exact reasons are unclear, but it appears that an optimistic attitude strengthens the immune system, or perhaps inspires an individual to take better care of oneself. Optimists have the tendency to view crises as fleeting moments and are willing to credit themselves when things go right. Pessimists however, tend to dwell on the negative and blame themselves for whatever may go wrong.

The man who would be Santa, Archibald W. Stiles, lived in New Jersey for most of his 89 years. The rest of the time he spent up at the North Pole. With a long, flowing white beard, Stiles traveled by horse-drawn carriage with a herd of white tailed-deer (resembling reindeer). He and his wife, Emma, would visit schools and hospitals at all times of the year. They brought hope and cheer to countless youngsters. He also ran a small antiques shop Archie's Resale Shop, in Westfield, New Jersey, which resembled an elves' workshop.

Remember When? In 1965, the average age of a man marrying for the first time was 25.8; for a woman the average age was 22.6 versus today where the average marrying age is closer to 28.3 and 24.2, respectively.

Presented as a public service to our senior citizens, and the people who care about them by

CARMEL INN
For Seniors

P.O. Box 1200
Carmel-By-The-Sea
California, 93921
(831) 624-8336

State Licensed 24-hr. Care

Answer to puzzle
on page 12A

Armed robber in disguise hits Wells Fargo Bank

By MARY BROWNFIELD

A TALL, THIN, young man wearing a false beard and a wig walked into the Wells Fargo Bank at the Crossroads Shopping Village the morning of June 8, approached a teller, showed her the blue steel handgun he was carrying in a paper

bag and walked out with an undisclosed amount of cash, according to Monterey County Sheriff's Deputy Dennis English.

"There was another employee who was approaching the teller from behind, and she leaned over and said, 'Robbery.' He then went about his own business, went back to his desk and hit the alarm," the deputy said, adding that the employee took care to be discrete about his actions.

"[The suspect] wasn't in the bank for very long — I got there within two minutes and they already had the place locked up," he said. "He had a well-planned escape route, was disguised and wore gloves."

But one employee saw the man — described as a white male adult with a light complexion, 20 to 30 years old, 6 foot to 6 foot 2 inches tall, thinly built and wearing dark clothing and dirty tennis shoes — leave the bank, and pointed deputies in the right direction.

"He started running, and the bank employee saw him take the false beard off and throw it to the ground, but we couldn't find it," English said.

Another witness who had been in an upstairs office nearby at the time told the deputy he saw a man running through the parking lot while trying to remove his jacket. Authorities believe the robber fled either into a neighboring condo complex or down into the riverbed, according to English.

The same robber?

The Wells Fargo Bank robbery is the latest in a series of incidents that may be connected, according to Carmel Police Sgt. Terry Chandler. Comerica Bank in downtown Carmel was robbed May 21 and again May 29 by a single suspect who has been described as a white male in his mid-20s, 6 foot to 6 foot 2 inches tall with a thin build, weighing about 160 pounds and having dark, shaggy, shoulder-length hair.

Carmel police are still investigating those robberies.

Help save the natives

BIG SUR State Parks hopes to enlist the help of wilderness-loving folks in yanking non-native weeds and irrigating the native plants of Creamery Meadow in Andrew Molera State Park Saturday, June 16. The meadow affords great bird watching, and is just a short walk from the beach, according to the parks department. Volunteers should meet in the parking lot of Andrew Molera at 9 a.m., and bring hats, sunscreen, long pants, good shoes, water and something to eat for lunch. Free camping is available to those who reserve ahead. Call 622-0367 for more information.

Once Upon A Heritage

A Transformation
CAMPAIGN
FOR SUNSET

SUNSET THEATER PROJECT

The heart of Carmel's cultural tradition

A HOME TO MATCH THE ARTISTRY

Benefits Carmel Bach Festival, Monterey Symphony, Carmel Music Society, Chamber Music Monterey Bay, Performance Carmel, among others

IMAGINE THE EXPERIENCE

Transformation of the Sunset Theater into a vital performing arts center

MOVING TOWARD THE GOAL


We need your help in raising the final \$500,000

Become a Part of Sunset Theater's
History and its Future

Campaign for Sunset
P.O. Box 400
Carmel-by-the-Sea, CA 93921

Call 625-2486 to receive a campaign
brochure or email us at
sunsetproj@worldnet.att.net

Decorate Your Life!



By visiting the most unusual and beautiful lifestyle store on the Peninsula. Stroll the aisles — Wines, gourmet foods, Italian and French country decor. Of course, you can take it all home with you.

MEDITERRANEO Imports

856 Tioga Ave., Sand City (behind Costco)
Open Daily 10-6 pm • 831.393.1075
www.mediterraneoimports.com



A new symbol of freedom for over
3 million Californians who buy
their own healthcare.

The future of healthcare has arrived.
It's called PlanScape®
from Blue Cross of California.

Yes, send me FREE information!

Name _____
Address _____
City _____ Zip _____
Phone () _____ Birthdate: _____

Authorized Agent



Blue Cross of California and BC Life & Health Insurance Company are independent licensees of the Blue Cross Association. Blue Cross and the Blue Cross Symbol are registered service marks of the Blue Cross Association. PlanScape is a registered service mark of WellPoint Networks, Inc.

CYPRESS COAST INSURANCE
AND FINANCIAL SERVICES, INC.

William L. Sisk, CLU, ChFC, MBA

CA Lic. #0A91057, 0370018

P.O. Box 7408, Carmel-by-the-Sea, CA 93921
(North West Corner 9th and Dolores)

(831) 625-1013 • 1-800-923-LIFE

www.carmelpinecone.com

BIZTECH
SHIPPING & COPY CENTER

**COPY
PRINT
SHIP**

26544 Carmel Rancho Blvd.
(Next to the Bagel Bakery)

622-9024

MONTEREY COUNTY
BANK
GUIDE

Charles T. Chrietberg, Jr.
"The King of Local Bankers"

Don't be Cruel...
Bank with Me!



Convenient Locations
to Serve You...

Monterey
649-4600

Pacific Grove
655-4300

Carmel
625-4300

Salinas
SBA LOAN EXPRESS
422-4600

Santa Cruz
SBA LOAN EXPRESS
469-3600



Member F.D.I.C.
SBA Preferred Lender
Equal Housing Lender

Council ponders \$100,000 marketing grant, improvement district

By TAMARA GRIPPI

NOTICE OF VACANCY

INVITATION TO RESIDENTS TO SERVE ON DISTRICT BOARD OF DIRECTORS

The Board of Directors of the Pebble Beach Community Services District desires to make a temporary appointment of a qualified person to fill a vacancy on the Board. The five-member Board is the governing body of the District. Its members are elected to serve four-year terms of office. The person appointed to fill the vacant Board member position will remain in office until December 7, 2001 and must stand for election by District voters in the District's general election on November 6, 2001 if he or she wishes to continue to serve on the Board for the remaining two year term of office of the vacant director position. Any other qualified candidates may also seek the office in the November election.

The Community Services District, a local government entity, encompasses the Pebble Beach/Del Monte Forest area. It is responsible for providing fire protection and first responder emergency medical services; wastewater collection, treatment and disposal, including reclaimed water distribution, and refuse collection and disposal services. The District may also provide a variety of other public services, if approved by District voters.

Candidates must be residents of the District, citizens of the United States and of voting age. Applications, including biographical information, will be received until 5:00 p.m. on Monday, June 25, 2001. Also, candidates will be invited to make an oral statement or answer questions in support of their application to the Board of Directors on Friday, June 29, 2001. For more information, interested individuals may contact the PBCSD General Manager at 831-373-1275, Extension 205 or stop by his office at Forest Lake and Lopez Roads, Pebble Beach, CA 93953.

Hampton S. Stewart, III
PBCSD Board President

DEBATE OVER whether the city should fund a \$100,000 marketing grant for the Carmel Business Association continued this week as some city leaders worried about the effectiveness of the CBA's program and others argued that Carmel should continue supporting the program until a business improvement district is ready to take its place.

Carmel Mayor Sue McCloud said she wasn't ready to go on record yet either supporting or opposing the \$100,000 grant. "I'd like to see what the council says," she said. "We need to look at how effectively the money can be used."

In expressing concerns about the program, McCloud wondered if the advertising slogans were becoming stale and questioned how useful it is to bring travel writers to Carmel if their writing assignments are determined ahead of time.

"Our ability to influence [the stories] is minimal," McCloud said.

Councilwoman Paula Hazdovac, who agreed the marketing message needs to be updated, nonetheless said she supports the program, at least until a new business improvement district becomes a reality.

"I know we have to do something," said Hazdovac, who is a Carmel business owner and member of the CBA. "I don't know that what the CBA is doing is the best, but they are doing something."

Local business people have been talking with the city for the last year-and-a-half about the prospect of creating an improvement district — which would rely on Carmel's businesses agreeing to an annual

assessment.

Proponents hope the improvement district's funds could be used to pay for a marketing program. As yet, the project has not come to fruition. Carmel City Administrator Rich Guillen thinks it would be a good idea for the city take on a consultant — like Monterey and Pacific Grove did — to build consensus in the community about a BID and "facilitate it so it does happen."

Councilman Dick Ely, also a local business owner, agreed it would be unwise to cut the funding to the CBA.

"At this particular time when it looks like tourism is down, it would really be a mistake to do something like that," Ely

said. "Which is not to say that after the BID kicks in we couldn't take another look at the program and determine whether the level of support should be diminished at some point, or perhaps eliminated."

Larry Hoover, president of the CBA and also one of the supporters of a BID, explained that his organization has already modified its advertising program and opted to bring travel writers to town one at a time instead of hosting them in a large group.

"If there's something the city wants to change, we're more than happy to look at that," Hoover said.

The CBA's proposal to use the \$100,000 for next year includes:

- \$60,000 for Beverly Hills based PR firm Murphy O'Brien, which helps get articles about Carmel in various publications;
- \$30,700 in advertising;
- \$4,800 for media visits;
- \$3,000 for website updates; and
- \$1,500 for promotional packages.

"I'd like to see what the council says," she said. "We need to look at how effectively the money can be used."

— Mayor Sue McCloud

LT. COL. GARRY JAMES ANLOFF JR. ~ 1909 - 2001

Bataan Death March Survivor Succumbs

"You can say of me that I lived a simple and beautiful life."

Garry Anloff was born in Berkeley, California, in 1909, the only child of his parents and a doted-upon nephew of two childless sets of aunts and uncles.

After graduating from Virgil Junior High and Hollywood High School in Los Angeles, Anloff worked for UPS (a job he loved because he could both run and drive) while attending the Southern Campus of the University of California, today known as UCLA. He was a member of Kappa Sigma fraternity.

Second Lieutenant Anloff received his commission as a member of the Army Officers Reserve Corps in 1930; he received his BA in Economics the same year. (Considering the financial condition of the country at that time, his family kidded him for many years about his poor timing.)

Josephine Myrth Goldsmith and Garry eloped on April 21st, 1935; the police officer who had pulled them over for speeding served as their best man when they stood before a judge to recite their vows.

Anloff served with the CCC (Civilian Conservation Corps) and worked as a life insurance salesman, gas station attendant and hotel manager during the early depression years.

In 1938 his daughter was born, and in 1939 his family of three moved into a home built for them by G.J. Anloff Sr. Six months later the Army sent Anloff to the Philippines.

After Pearl Harbor, Corregidor, and the Bataan Death March, he remained a POW (Prisoner of War) of the Japanese until the end of World War II, returning to the United States with the rank of Major.

Deciding for health reasons related to his POW years to remain in the Army, Anloff accepted assignments in Richmond, California; Salt Lake City, Utah; and Seattle, Washington, where his son was born. Then, like many other officers, he was "RIFed" when the military decided upon a reduction in forces. Anloff remained in the Army as a Master Sergeant. As such he returned to UCLA to work with the ROTC. Later the Army sent him to Taegu and Pusan in Korea and, in 1955, to his final assignment at Fort

Ord. He and his family moved to Carmel.

After his April 1, 1960, retirement, he and Josephine moved into the Carmel home they had designed and built together. In 1968 they welcomed their grandson, and in 1971 their first granddaughter was born.

Retirement provided new opportunities. Anloff returned to school at San Jose State, earned a teaching credential, taught in a junior high in Santa Rita and, later, worked as a substitute math teacher and a drivers' education teacher at Carmel High School. Because of his concern for the wives, widows and families of American ex-POWs, much of Anloff's time in the late sixties and early seventies was spent doing research for and writing a column for the ex-POW newspaper. To provide security for his own family, he also went back to his first love of economics and expanded his investments and real estate holdings. He served as president and area coordinator of the Reserve Officers Association.

In addition, he and Josephine enjoyed the time to travel in this country that he so loved. Then, as for all of his life, he was an optimist, a man open to life's experiences, a survivor and a person who took pleasure in and accepted all kinds of people.

After Josephine died in 1975, Garry spent much of his time being the world's best grandfather. In 1977 he married Patricia Ellsworth. Together they took pleasure in their families (Garry's second granddaughter arrived when he was eighty-one years of age.), friends, reading, travel, the Lions Club, work with the Ex-POW and life amidst the beauties of Carmel.

Because of his POW experiences, Anloff did not expect to live to be an old man, but he took excellent care of himself and worked to remain healthy. Perhaps the greatest irony of his life was that he lived long enough to suffer from Alzheimer's disease and to be gradually robbed of many of his memories in his late eighties and nineties. Because of the care given by his wife, he was able to live his last years in the home that he loved so much overlooking Carmel Valley. He died on June second.

He was predeceased by his mother, Kathryn Rachel Robenson Anloff, a homemaker; his father, Garfield Julius Anloff, University of California class of 1900, an Alaskan gold miner, a California contractor, and an engineer who helped fight the post-earthquake San Francisco



Lt. Col. Garry James Anloff Jr.

fires in 1906; and Josephine Myrth Goldsmith Anloff, his wife of forty years and the mother of his children.

He is survived by his widow Patricia Ellsworth Anloff, to whom he had been married for twenty-three years; his daughter, Patricia Lou Anloff Sanders, her husband, Thomas Clarke Sanders, and their two children, Bry Thomas Sanders and Tal Patricia Sanders; his son, Garry Joseph Anloff, his wife, Carole Phinney Anloff, and their daughter, Christine Noel Anloff.

He is also survived by his step-son, Patric Ellsworth, his wife, Diana Powers Ellsworth, and their son, Andrew Ellsworth; and by his step-daughter, Penny Ellsworth.

Services will be private.

"Sleep in forgetfulness of all ill."
John Muir-

Camino del Monte intersection open after months of work

By MARY BROWNFIELD

LANDSCAPING and facing a new retaining wall with golden granite are the only jobs left to be done at the recently

WATER DISTRICT TO MEET JUNE 18

THE BOARD of the Monterey Peninsula Water Management District will hold its regular meeting June 18 at 7 p.m. in Monterey City Council Chambers.

Items for discussion include a draft report on the effectiveness of water credit transfers and adoption of a water supply strategy and budget. Monterey City Hall is located at Pacific and Madison streets in Monterey.

For more information, call 658-5600.

redesigned Camino Del Monte-Junipero intersection, closed since the middle of April for a major realignment, according to Carmel Public Works Director Jim Cullem.

The new intersection is safer and will help halt erosion of the land above it, according to Cullem.

"We were able to move the school crossings to a three-way stop, and that's also the route that mommies and kids will take to and from Forest Hills Park," he said. "We think the intersection's going to work better — it will slow traffic down and make that a much safer place for pedestrians and for drivers."

The new work included rebuilding a slope above had been "dropping rock onto Junipero at odd times" since the rainy season of 1995, according to Cullem.

Resident Jack Barker, who watched the city-owned land in front of his home slowly erode, said he is happy to see the work close to completion.

"We were getting closer and closer to the edge of the cliff — we were a little nervous about how close we were getting," he said.

"But it's more a safety factor than that. It should eliminate some of the accidents and near misses we've had down there."

Barker and Cullem praised contracting company Don Chapin for its work on the project which, despite taking longer than expected, looks like it will come in under budget, according to the public works director.

Most of the realignment was paid for with county tax dollars, Cullem said, and the city

might use any remaining money to install an irrigation system in the soon-to-be landscaped areas to ensure the plants don't die during the warmer months.

Crews hope to keep the intersection open while the remaining work is done, Cullem added, although they may occasionally need to close a lane or redirect traffic.

"As one of the affected homeowners, I am very happy to see it done," Barker said. "I'd like to extend a personal, big thank you."

GALLERY AMERICANA

presents

SIMON COMBES

Safari USA

June 14-20

ARTIST RECEPTION

Friday, June 15

4-6 p.m.

DAILY GALLERY ACTIVITIES

- "Work in Progress" Painting Demonstration
- Slide Presentation
- One-on-One Chats with the Artist
- And, much more!

Lincoln & 6th, Carmel
831-624-5071



MONTEREY BAY'S premier GOLF SUPERSTORE

Must present this bill during purchase - Limit 1 bill per purchase.*

TOP 10 REASONS TO SHOP AT THE GOLF MART!

- | | | |
|-------------------------|-------------------------------|------------------------------|
| #10 Huge Selection! | #7 90 Day Guarantee! | #3 Full Service Club Repair! |
| #9 Low Price Guarantee! | #6 Huge Putting Greens! | #2 We Like Trade-Ins! |
| #8 Exceptional Service! | #5 Computerized Club Fitting! | #1 We Care About Your Game! |
| | #4 Full Swing Golf Simulator! | |



GOLF MART SUPERSTORE
2040 FREMONT BLVD.
SEASIDE • 831.583.1000

Mon-Fri 9-7 • Sat 9-6 • Sun 10-5

470-A Noor Avenue
So. San Francisco
650.583.4653

1200 6th Street
San Francisco
415.703.6190

6635 Dublin Blvd. #B
Dublin
925.833.8950

2094 Redwood Hwy.
Larkspur
415.927.0290

Remember Father's Day June 17

SERVICE DIRECTORY

Reach the people who need your service for as little as \$12 per week. Put The Carmel Pine Cone to work for you! (831) 624-0102.

APPLIANCE REPAIR

STANLEY APPLIANCE
Expert repair on household appliances. 40 years experience, all makes. Residential/commercial, new/used machines. Free estimate. 624-8226
8/31

CABINETRY

FINE WOODWORKING
By Paul Sable. Fine custom cabinetry/furniture for the discriminating homeowner/designer or contractor. 30 yrs. experience. Excellent local references. Free estimate. Call Paul. 1-800-233-7309
TF

CONSTRUCTION

EDMONDS CONSTRUCTION
Addition-Kitchen-Baths, Design or work from architect plans. Reliable contractor with local references. Lic#349605. Call 333-0404.
8/16

ELECTRICIAN

ELECTRICIAN
Electrician 339498, 32 years experience. Any job large or small, remodel, commercial, signs, motors, spas, garden lighting. 375-0852.
TF

ERRANDS

CRML GO4
Need errands run or work to be done? We do it all, just give us a call! 624-8615.
7/6

FITNESS

PERSONAL FITNESS TRAINING
Personal Fitness Training by Ken Green at private Studio One on One in Monterey. Train with the best! 372-0221 or 625-1173.
TF
www.usapersonaltrainers.com/greenkenneth.htm

GARDEN, LANDSCAPE & IRRIGATION

VON ZEHREN GARDENING & LANDSCAPE SERVICE
All aspects of landscaping, irrigation & repair. Garden maintenance, minor tree work. Clean-ups. \$21 per man hour. 393-0209.
TF

MONTEREY GARDENING & LANDSCAPE

Full gardening service & maintenance. Clean-ups - hedging - pruning - roof/gutter cleaning. Commercial & residential. Dependable & experienced. Free estimates. 643-7797, Leave a message.
6/29

LANDSCAPING & IRRIGATION

PRUNING - FRUIT TREES AND ORNAMENTALS
Proper pruning increases yields, improves health and appearance, and can even save favorite trees and shrubs. \$20/hr. Please call Amadeus Guy at 626-8644
7/6

GLASS

AT THE BEACH STAINED GLASS
Design/Fabrication/Repair and installation of leaded glass windows. 375-4527
8/3

HANDYMAN

DAN'S HANDYMAN SERVICE
General repairs, electrical, plumbing. No job too small. 642-0480
7/6

THE FOREST HANDYMAN

For all those "honey-do" items on your list. Plumbing, Electrical, Carpentry, Tile, Repairs. Call Peter 372-0510
7/6

HAULING

STUDENTS HAULING
Large truck, two men. Brush, garage clean outs, construction debris. 15 years experience. Call Victor 626-1303.
TF

TRASH IT BY THE SEA

Hauling is my calling. Call John for hauling and trash removal. TRASH IT. 624-2052.
TF

HAULING

All phases of hauling, clean outs and deliveries. 20 years experience. For free estimate. Call Mike 8 a.m. - 6 p.m., weekends okay. Cell: 831-521-4473. Office: 831-658-0624
TF

THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW
Requires contractors include their license number in their advertising. An unlicensed contractor can perform work if the contract price is less than \$200. For more information, call: THE STATE OF CALIFORNIA CONTRACTOR'S LICENSING BOARD (801) 277-1264

HOUSE PAINTING

MASTERPIECE PAINTING AND DECORATING
Residential specialist/professional service. Complete interior and exterior painting. A firm commitment to honor, integrity and respect to people and their property. Insured. Lic. #700380. John Reed 883-9506.
TF

BRENT BAYSINGER PAINTER

Interior-Exterior. Old fashioned quality. Free estimates. Excellent Carmel, Pebble Beach and Carmel Valley references. Lic. #663828. Insured. 625-0679.
TF

JIMMY DOMINGO PAINTING

Interior/Exterior, quality, efficiency, dependability, competitive rates, free estimates, excellent references. Lic. #604568 insured. 394-0632.
TF

PAUL DIMAURO PAINTING

Serving Carmel's painting needs since 1978. Professional quality work. Inside and out. Lic. #476690. Fully insured. 624-8218.
TF

MOVING

J & M MOVING SYSTEMS

Experienced movers. Reliable trucks, great service. Excellent references available. Call 659-3828 or pager 373-9506. CAL PUC T-187400.TF

ORGANIZATION

HAS THE CLUTTER BUG GOT YOU?

Home, business, relocations and holidays...Professional organizer, member NAPO, cheerful, non-judgmental. Peace of mind is only a phone call away. Call Christy Best at 643-1612.
www.clutterbug.net
TF

PERSON HEALTH AND FITNESS TRAINING

FITNESS FOR HEALTH

In the privacy of your own home. Equipment catered. Weight Loss, Vitality, Strength, Balance. References available. Fitness For Health 375-5201.
7/6

SUPPORT The Pine Cone ADVERTISERS!

PET SITTING

PAM'S PAMPERED PETS
Leaving town? Don't kennel your pets! I will visit your home daily to provide T.L.C. 20 years experience, references. 624-6977.
TF

POSTAL BOX RENTAL

CARMEL MAILBOX
8th & San Carlos. Private postal boxes, 24-hr. access, introductory offer. Mail delivery in Carmel. 625-5210.
TF

REPAIRS & REMODELS

SMALL HOME PROJECTS CONTRACTOR
Walls, Patios, Walks, Decks, Fences, Stone work by European craftsman. Free estimates, Peninsula references. Lic. #713309. Call Radomir 373-4477.
TF

TREE SERVICE

SPENCER'S TREE SERVICE
Trimming, removal, stump removal. Safety, consultations by Certified Arborist. Fully insured lic. #611814 estimates free. 624-0187.
TF

IVERSON'S TREE SERVICE & STUMP REMOVAL

Complete tree service. Fully insured. License #677370. Call 625-5743.
TF

WALLCOVERING CONTRACTOR

JOHN SCULLEY WALLCOVERING CONTRACTOR
All types of wallcoverings. All work guaranteed. Many local references. Free estimates. Lic.#538536. Call 372-2309.
TF

WINDOW CLEANING

HOBBS & MCGRATH PROFESSIONAL WINDOW CLEANING
Quality service and reasonable rates, expert window cleaning for your home or business. Fully licensed & insured. Your Satisfaction is our Guarantee. For Free Estimates call 626-3120.
TF

SENIOR LIVING

Howard Brodie honored for capturing history on the battlefield, in court

By TAMARA GRIPPI

FORMER CARMELITE Howard Brodie, the artist-journalist who covered World War II, Korea and Vietnam and some of the most sensational trials of the 20th Century, has been elected to the Society of Illustrators Hall of Fame.

Brodie, who lives on a ranch in southern Monterey County, will join the ranks of renowned artists Norman Rockwell, Frederic Remington, Winslow Homer, Charles Russell, John James Audubon, Charles Dana Gibson, Maxfield Parrish, James Montgomery Flagg, Howard Pyle and N.C. Wyeth.

Brodie — whose drawings are on display at the U.S. Army Museum at the Presidio of Monterey — will attend the June 28 presentation dinner in New York with his son, Bruce.

Always ready with his pad and pencil behind the lines and on the battlefields, Brodie was able to capture some of the

most dramatic and poignant aspects of war.

"One of the key things about my dad is that he is so incredibly loving. With all the violence he's witnessed, his one thread in life has been the pursuit of the human spirit," said his daughter, Wendy Brodie, chef and owner of Lincoln Court restaurant in Carmel.

Mr. Brodie explained that while he always wanted to be with the troops, he only carried pencils, never a weapon. "I was a warrior with a pencil," he said of his days in France, Belgium and Germany in 1944.

"It's a wonderful thing to be one with the men," Brodie said of his access, which allowed him to capture some of the most compelling moments of war.

"During the height of one battle, one of the men turned to me and said, 'You know, I can never kill a man. I aim over their heads and hope they surrender.' That was a powerful thing for somebody to say. You didn't say that as a soldier."

Brodie covered World War II for Yank Magazine, an Army publication dedicated entirely to the enlisted man.

The most shocking events witnessed by Brodie occurred

Brodie's sketch of the execution of a German prisoner of war during the Battle of the Bulge captured the most shocking moment of the artist's career. The drawing was the only sketch of Brodie's career to be censored, as evidenced by the triangular stamp posted on the upper right corner of the sketch, which reads "10 Jan 1945 not to be published."



on a single day during the Battle of the Bulge. He witnessed the execution of three German prisoners earlier in the day and then later that afternoon survived bombing by the Germans as others fell around him.

"The designed death of the men carried out through the execution compared with the chance deaths of the bombing was my most shocking experience," he said.

Brodie's drawing of the execution was the only sketch in all the wars he covered that was censored, he said.

He returned to the battlegrounds several more times during his career, covering the Korean War for Collier's magazine and reporting on Vietnam for CBS.

See **BRODIE** page 21A



Serving Carmel since 1930

Nielsen Bros.

MARKET, INC.

The Non-Supermarket
GROCERIES - MEAT - WINES - LIQUORS
GOURMET SHOP

Charge Accounts Welcome
HOTEL OR HOME DELIVERY
624-6441

Groceries 624-6441 Meat 624-6263
Wine 624-9463 Cheese 624-5939



VNA & Hospice

...because we care.

Caring....compassionate.....and consistent

We've been serving families just like yours in this community for over fifty years.

You can count on us for the very best in home health care services. Other families do. We make over 75,000 home visits each year including more than 3,000 to pediatric patients.

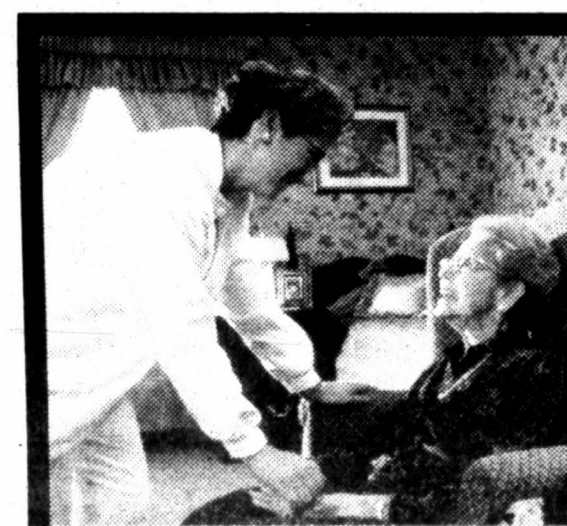
24 hours • 7 days a week

Skilled Nurses,
RNs, LVNs
IV Therapy • Hospice
Home Health Aides
Companions, Live-Ins
Adult Day Care

Monterey 375-9882	Salinas 758-8302
King City 385-8405	Hollister 637-6724

www.ccvna.com

Medicare Certified
State Licensed • JCAHO Accredited • Bonded, Liability Insured



Qualified. Skilled. Available.

At Heartland Home Health Care & Hospice, (formerly Home Health Plus), we have CARING professionals that can provide:

• 24 hours-7 days a week Private Duty Home Care Services • Home Health Aides • Homemakers • Companions • RNs, LVNs, Rehab Services & IV Therapy • Diabetic Education • Cardiac Services • Hospice Services

* Medicare Certified * State Licensed *
* Insured * JCAHO Accredited *

Heartland 
HOME HEALTH CARE & HOSPICE

For a Free Assessment, please call (831) 373-8442

www.ihhi.com

WOULD YOU LIKE TO STOP PAYING FOR DIABETES TESTING SUPPLIES?

Save Money!

- ✓ Receive testing supplies for little to no out-of-pocket expense.
- ✓ Eliminate up-front payments for testing supplies!
- ✓ Free Delivery!

Ask us for your FREE meter!

No Hassles!

- ✓ Say good-bye to insurance paperwork.
- ✓ Never run out of supplies.

We Provide:

- New Monitors
- Test Strips
- Lancets
- Lancing Devices
- Other Diabetes Care Needs

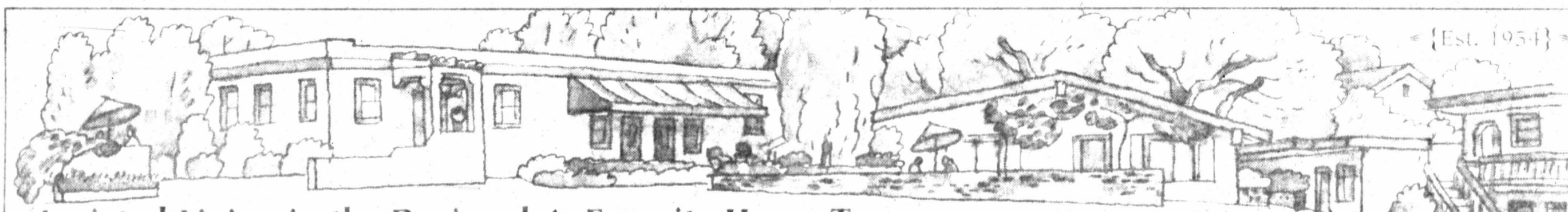
We Will:

- Bill your Medicare, MediCal or Private Insurance programs directly.
- Send supplies to your home.
- Follow-up to make sure you are not running out of supplies.



AllCare Diabetes Center
Pharmacy & Medical Supply Specialists

331 Main St. • Salinas, CA
CALL 888-840-5550



{Est. 1954}

Assisted Living in the Peninsula's Favorite Home Town

★ 24-hour staffing ★ Garden setting
★ Personal Care program
★ Supervision of medication
★ Social & recreational activities
★ Cable and phones in all rooms
★ Transportation for medical care
★ Plenty of room for canes and walkers

The Del Monte promises its residents gracious assistance with just the right amount of personal care in lovely private accommodations.

Private rooms from \$2400 per month.
License # 270708252

THE DEL MONTE

ASSISTED RESIDENTIAL CARE
1229 David Avenue, Pacific Grove
For information call Jane (831) 375-2206

SENIOR LIVING

Devendorf Park's humble beginnings, controversial past

By DENISE SALLEE

Local History Librarian, Harrison Memorial Library

THE CITY of Carmel-by-the-Sea will begin this season's "Concerts in the Park" on June 22 at noon. Free musical events will continue for six weeks at Devendorf Park on Fridays and at the Forest Theater on Sundays.

Carmelites know Devendorf Park as a beautifully planted and well-used park across from Carmel Plaza between Ocean and Sixth. The park we know today shows little signs of its humble beginnings — when it was known simply as "Block 69" — or of its central role in a legal battle that went all the way to the Supreme Court.

In 1922 the city purchased Block 69 from Frank Devendorf and the Carmel Development Company. It was Devendorf who, through his lot sales and determination to see Carmel well-settled, came to be called the founder of our city. At that time the land was used for various purposes, such as a polo field and campground. As one observer noted it was "a wind-swept waste, littered with papers and trash."

Because of the mess, Mattie Hopper (Mrs. James Hopper) began a campaign in 1928 to raise funds to create a park. Her daughter, Jane Hopper Vial, said her mother "went up and down the streets begging for money for her beloved town." Mrs. Hopper also held events, such as her "Spanish Fandango," to help raise money. The fandango was a collaboration between her many Mexican friends, who prepared authentic California-Spanish food for the occasion. The lot was transformed into a Mexican market with music by Ken Lyman's orchestra. Despite a conflict with the opening night at the Forest Theater, the event was a success. Hopper's efforts brought about \$1,000 to help build the park!

There was a delay, however, for debate at the city council. Many thought the land should be used for city buildings such as city hall and the fire station. But in 1930, councilwoman Clara Kellogg took up the cause of the park and persuaded the council to make it official by naming the park after Frank Devendorf. Cleaning up the land was first on the agenda. Carmel landscape architect Jane Deunsner drew up a general plan and Jane Todd of Monterey chose the plants and materials. Because of her dedication to the project, Todd refused the money and donated her time and knowledge as a gift to the town. By 1932, planting had begun under Todd's supervision, and as later noted, "the planning of the park was a unique example of whole-hearted village cooperation."

In 1968 the Carmel City Council, in an effort to clean up

what one newspaper called a "hippie-infested park," passed an ordinance that forbade people from sitting or lying on the grass at Devendorf Park. The emergency ordinance declared that the city had experienced "an extraordinary influx of undesirable and unsanitary visitors to the City, sometimes known as 'hippies,' and finds that unless proper regulations are adopted immediately, the use and enjoyment of public property will be jeopardized if not entirely eliminated."

Carmel bookseller Ann Parr got herself arrested for sitting on the grass during a protest against the new ordinance and, with future Judge Richard Silver representing her, challenged the no-sitting ordinance in court.

In January 1971, Devendorf Park made national news when the California Supreme Court overturned the "no sitting" law — finding that it amounted to discrimination because it was specifically directed against hippies.

Hippie cleanup

"It appears that the purpose of the ordinance is to irritate youthful hippies and to make their existence in Carmel as uncomfortable as possible by closing to them effective use of those public places where they choose to congregate," said Justice Stanley Mosk in the majority opinion. He went on to decry the council's "pejorative reference to the entire class of youthful Carmel visitors whose mode of dress and lifestyle differ from and irritate the majority of the residents and tourists in the city."

The purpose of the ordinance is to irritate youthful hippies and to make their existence in Carmel as uncomfortable as possible.

— Supreme Court Justice Mosk

With great joy, a group of Carmel High School students marched down Ocean to have a celebratory picnic lunch.

Soon, the problem of hippies overrunning Carmel disappeared on its own. Today, the park serves as a haven for locals and tourists who enjoy pleasant outdoor lunches in the sun. Here it is that many Carmel children take their first hesitant steps to the accompaniment of a softly played guitar.

"Parkfest 2001" begins Friday, June 22 at high noon with the Gil Cadilli Trio playing original music and classics by Duke Ellington, Count Basie, Wes Montgomery, Nat King Cole and T-Bone Walker. The city invites one and all to bring picnics and blankets. Five more Friday music groups will appear at the park through July 27.

The "2001 Sunday Afternoon Concert Series at the Forest Theater" series commences Sunday, June 24 with Terrence Farrell, classical, Spanish and flamenco guitarist. Farrell has won international acclaim for his concerts, television appearances and recordings. The season runs through July 29 at 2 p.m. each Sunday at the outdoor amphitheater on Mountain View at Santa Rita.

For details about the summer concerts, call 626-1255.



* Visit MST Online
www.mst.org

* Talk to a Customer Service Representative
8310899-2555 Monterey
831-424-7695

MST
MONTEREY-SALINAS TRANSIT

AILING HOUSE PEST CONTROL

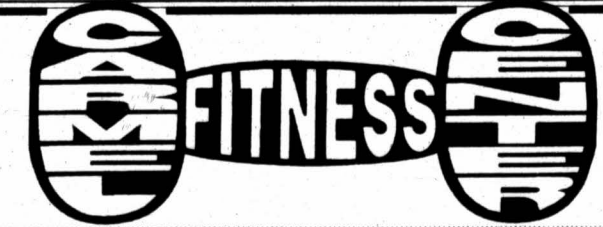


Serving the Carmel Area Since 1946

Complete Pest Control
Night Service Available

624-8211

San Carlos & 7th • Carmel




FITNESS

Visiting Carmel? Come work out with us!
We offer VISITOR RATES: Per Day (Full Privileges) — \$12
3-Visit Pass — \$30 • 7-Visit Pass — \$50
Aerobics Only (per class) — \$5

Carmel's Top Gym for 20 years Locally owned by Kelli Cullinan and Don & Marcy Curry

Mon.-Fri. 6am-9pm • Sat. 8am-7pm • Sun. 8am-5pm
624-8746 17 The Crossroads, Carmel



Going on a Trip?
We can help with all
TRAVEL
IMMUNIZATIONS

Paul E. Tocchet, MD
Anita Gertsch, MS FNP
Certified Family Nurse Practitioner

We specialize in consultations for around the world travel and provide all required immunizations needed for safe travel.
Welcoming New Patients.

Please call for an appointment.
(831) 659-5531
14 Ford Road • Carmel Valley
Located across from CV Community Center

The Carmel Drug Store believes one doesn't have to pay extra for quality service

Please stop by and see for yourself, or call 624-3819 for prescription price quotes and complimentary delivery.

Carmel Drug Store once again proving that excellent service and competitive pricing can go hand-in-hand.



SPRING & SUMMER NEEDS

Sun Screens • Beach Towels
Beach Mats • Hats & Beach Bags

Our backup generator allows us to serve the community during power failures.

Carmel Drug Store
624-3819

We'll fill, deliver, and bill monthly!
(Rx's & Sundry items)

Ocean Avenue at San Carlos
Carmel-by-the-Sea
Hours: 8 am - 10 pm, Daily
Pharmacy: 9 am - 6 pm, Mon.-Fri.



CARMEL VALLEY MANOR
A Life Care Community With:

- Abundant Sunshine
- Exceptional Services
- Marvelous Neighbors
- Charming Residences
- Complete Health Care Package

8545 Carmel Valley Road • Carmel, CA 93923
Call for a tour (831) 624-1281 License #270700110

PACIFIC GROVE TRAVEL
presents
Panama Canal
from San Francisco

15 DAYS—September 26, 2001
on board the Ocean Princess

Join us on this very special cruise; the **only** Panama Canal cruise offered by Princess Cruises from San Francisco this year!


All-inclusive price from \$1,999.00 per person based on double occupancy

Visiting:
Cabo San Lucas, Acapulco, Huatulco, Cartagena, Grand Cayman, Cozumel

Bus Transportation included from Monterey!

"We'll take care of everything!"

PACIFIC GROVE TRAVEL
CST#1003488-10



593 LIGHTHOUSE AVE.
PACIFIC GROVE
373-0631



Joullian Winery Zin-Q party planned for June 23

A ZINFANDEL release party and barbecue — the second annual "Zin-Q!" — is slated for Saturday, June 23 at Joullian winery, 20300 Cachagua Road, Carmel Valley.

Activities include a wine tasting and sale, vineyard and cellar tours and a tasting of olive oils from Mediterraneo Imports. A nominal fee will be charged for a barbecue prepared at the winery, or visitors may bring a luncheon bas-

ket and blanket and enjoy the vistas of vineyards from the picnic area.

Featured wines include the 1998 Sauvignon Blanc, '98 Chardonnay (Roger Rose Vineyard), and estate wines '97 Cabernet Sauvignon and '99 Sias Cuvée Zinfandel.

The party is restricted to those 21 years of age or older. For information, call toll free (877) 659-2800.

A little nacht musik at Georis Winery

SOME FARMERS play music to render their cows more content; some people talk to their plants to increase their well being. Recently The Pine Cone sheriff's log recorded that neighbors to Georis Winery complained of music emanating from the tasting garden room at 4 Pilot Road, Carmel Valley Village, all night long.

Was Georis soothing its resting, aging wines with a little nacht musik? A check with the winery disclosed a more mundane answer: The CD player was left on all night by mistake.

ORGANIC DINNER TO BE PAIRED WITH MONTEREY COUNTY WINES AT BERNARDUS

By MARGOT PETIT NICHOLS

A DINNER prepared entirely of organic ingredients will be created by Chef Cal Stamenov at Bernardus Lodge for a specialty dinner set from 6:30 to 10 p.m., Sunday July 29 in the Meritage Ballroom.

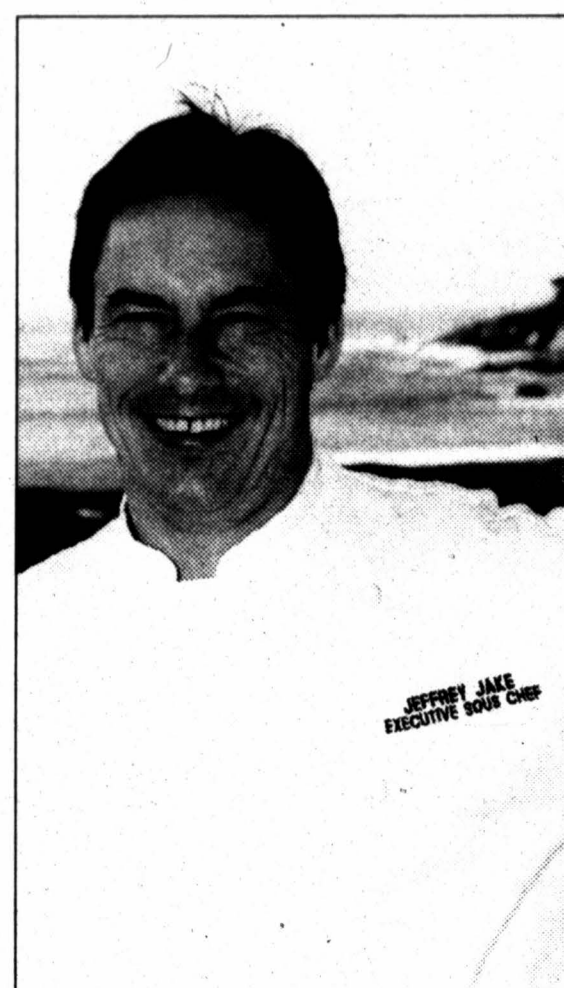
Chef Stamenov and wine director Mark Jensen will pair Monterey County wines with each course. Produce from Earthbound Farm will be featured.

Reservations for the dinner, at \$125 per person, all inclusive, are required and can be made by calling 658-3550.

Bernardus Lodge is located at 415 Carmel Valley Road, Carmel Valley.

Chef Jake leads Earthbound walk

Jeffrey Jake, executive sous chef at The Lodge at Pebble Beach, will be Earthbound Farm's guest chef on a Chef Walk slated for Saturday morning, June 16. Other walks planned for June are a flower walk and flower arranging demonstration on Saturday, June 23, and a harvest walk on Saturday, June 30. All walks will take place at Earthbound Farm, 7250 Carmel Valley Road, Carmel Valley. For fees, times and details, call the Farm Stand at 625-6219.



What's Happening

To advertise in this space call 624-0162

THE ALLIANCE on Aging is having a book sale 11:30 a.m. to 4:30 p.m. Friday, June 15 at the Pacific Grove Community Center, 515 Junipero St., Pacific Grove. All proceeds go to the Friendly Visitor, a program providing seniors with much needed companionship and escort drivers. Books of all kinds will sell for from 50 cents to \$3. They range from hard covers in mint condition to paperbacks in all stages of evolution. Friendly Visitor is also looking for qualified volunteers. Call Carlotta at 758-2811.

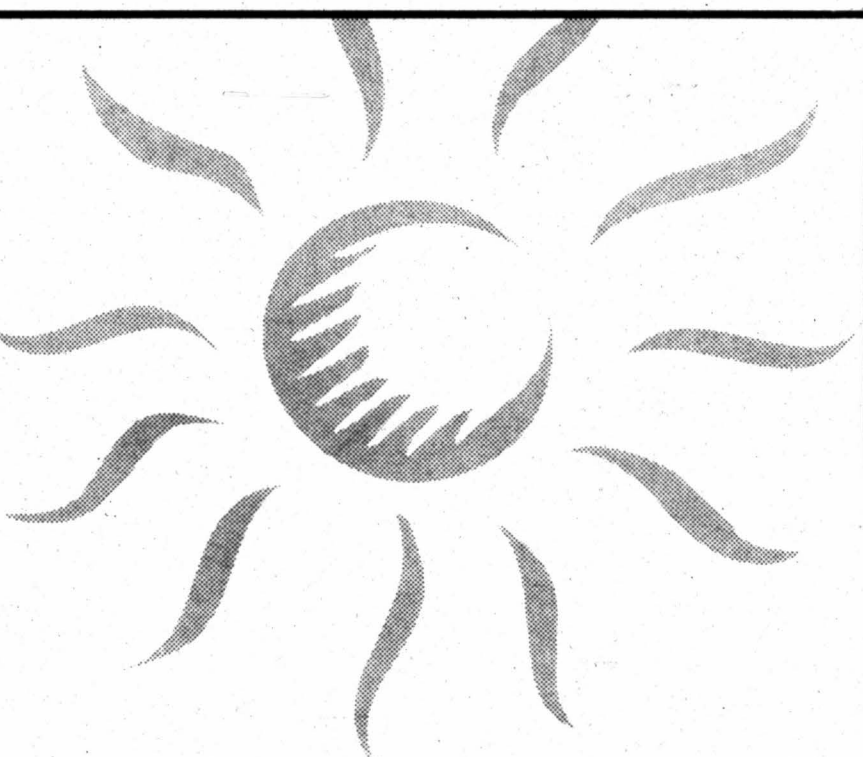
5TH ANNUAL SPIRITUALS NITE — an inspirational concert of America's beloved spirituals and gospel singspiration begins 7 p.m. Saturday, June 16 at Cypress Community Church, 681 Monterey-Salinas Highway 68 (one block east of Corral de Tierra). Soloists include Reg Huston, Mary Giger, Ann Schultz, Daniel Simpson and Dick Robins on trumpet. Enjoy food, fun and fellowship. A free-will offering will be taken.

JOHN FUND of the Wall Street Journal and contributor to Fox News Channel and NBC will speak at a fundraising dinner hosted by The Republican Women's Club of Region IX. A silent auction will also take place Saturday, June 23 at the Hyatt Regency Monterey. All proceeds will benefit local scholarship, educational and community programs on the Monterey Peninsula. Privately hosted reception begins 5:30 p.m. and costs \$30. Dinner, 7 p.m., is priced at \$70. For reservations, call Connie Perry at 647-9225.

Sunday Jazz brunch featured at The Covey, Quail Lodge

A JAZZ Sunday brunch from 11 a.m. to 2 p.m. is featured weekly on The Covey deck at Quail Lodge. The brunch features a complimentary glass of champagne or a mimosa, a starter, entrée and dessert for \$25 for adults and \$12.95 for children under 10 — plus tax and gratuity.

For reservations, call 620-8860. The Covey restaurant is located at 8205 Valley Greens Drive, off Carmel Valley Road, Carmel.



The sky is blue
and the water is fine...

Summer is almost here. It's time to enjoy outdoor picnics, beach partys, or even a hike in Big Sur.

Stop by Whole Foods Market on the way for gourmet salads and sandwiches wrapped and ready-to-go, even order a complete boxed lunch or sandwich tray.

Doing the cooking yourself? Enjoy choosing fresh, organic produce, all natural meat and poultry, European style wines and cheeses and so much more!



**Fresh, All Natural Food
for Every Occasion**

800 Del Monte Center 333-1600
Open 8:30am to 9pm Every Day
Bakery opens at 8am

KarenAnnes.com

Monterey Peninsula's Guide To
Food, Health and Wellness

Receive information & money saving discounts for
restaurants, health food stores,
personal training sessions, yoga
and more all at the click of
a button when you visit
www.KarenAnnes.com



www.KarenAnnes.com

831-373-3953



Dances On Your Palate

HELLER ESTATE

WINES MADE FROM ORGANICALLY
GROWN GRAPES
NO HERBICIDES ! NO PESTICIDES

Our Tasting Room is located at
69 W. Carmel Valley Road in Carmel Valley Village

Mon-Fri 11 am to 5 pm
Sat & Sun 10 am to 5 pm

WINE TASTING DAILY

659-6220 OR 800-625-VINO



Paris BAKERY

"Not just a Pastry Shop"

Pasta Salads • Quiche
Fresh Fruit Salads
Focaccia Bread • Croissant Sandwiches

Open 6:30 am-6:30 pm • 7 Days a Week

DOWNTOWN MONTEREY
271 BONIFACIO PLAZA 646-1620



Cornucopia Cafe abundant with all things organic, fresh, yummy

STORY & PHOTO
by MARGOT PETIT NICHOLS

SHE SPECIALIZES in East Indian and vegetarian cuisine, he in Mediterranean fare. "Together, we make one really great executive chef," said Cornucopia Cafe's Ginna Bell Bragg, speaking of her partner, Gianni Grassi and herself.

Entering the scene three months ago as consultants, they soon became managing partners, and even now are preparing to become proprietors in the near future, when the name of the cafe will change to Le Famiglie at the Cornucopia Cafe.

Bragg and Grassi are lending new dimensions to the cafe — which began as an adjunct to the Cornucopia Market next door — with more and varied foods to be eaten there or taken home. Both market and cafe are at the mouth of Carmel Valley, 26135 Carmel Rancho Blvd.

Grassi, who for five years has operated his Le Famiglie Personal Cuisine catering company, joined Bragg at The Thunderbird Bookshop Cafe while she was managing it. They worked together so well, they decided to join forces consulting for and managing Cornucopia Cafe when owners Jon and Lori Zobler were looking for innovation in cooking styles and menu items.

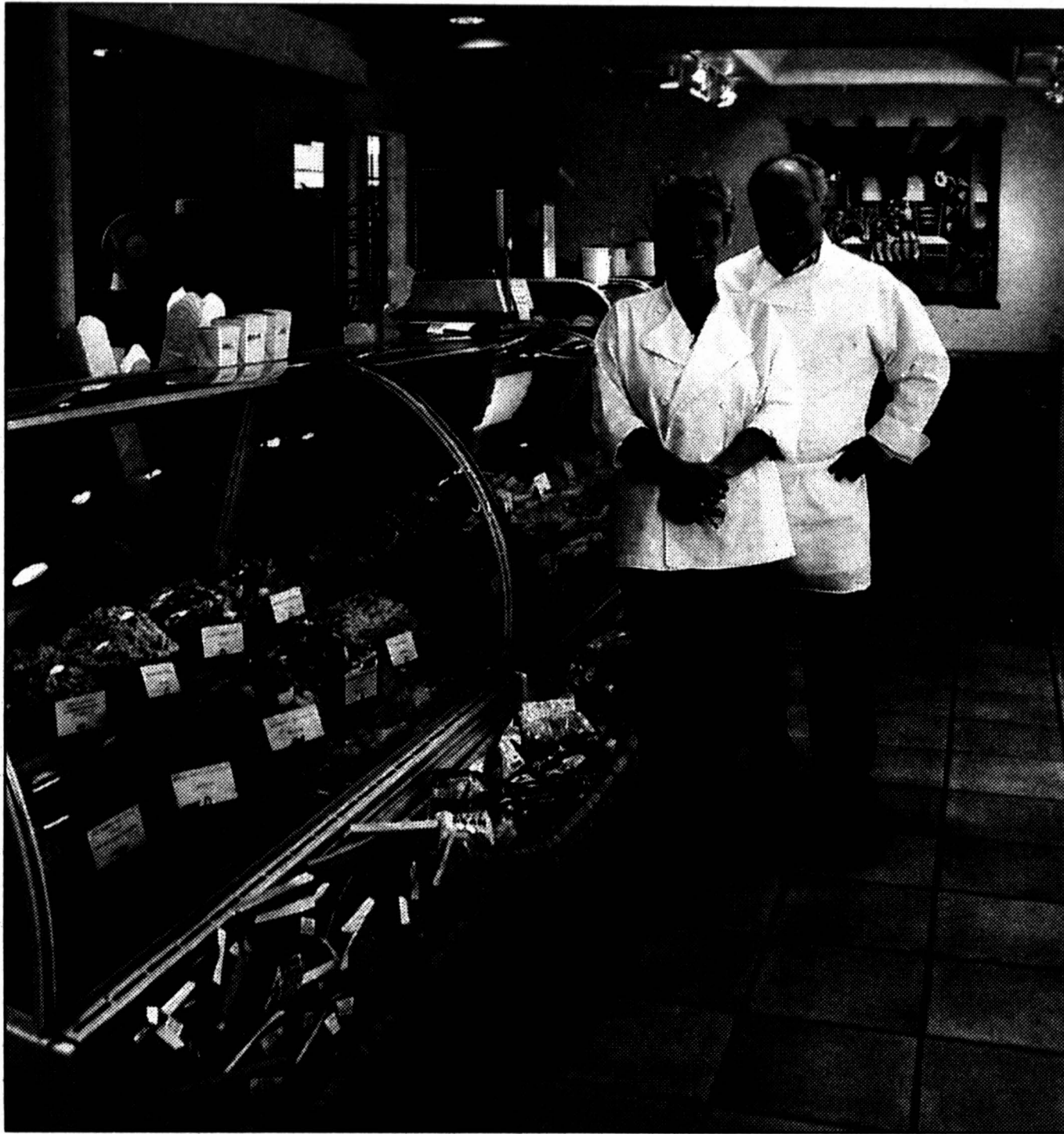
"We all four have the same vision," Bragg told The Pine Cone. "We took Jon and Lori's ideas in terms of organics and whole foods, and expanded it; our food is still organic as much as possible, and all fresh, but we're making some changes. We're doing various salads and hot entrées. We're known as a gourmet deli-cafe, and our take-out slogan is 'Treat yourself to a night out at home,'" she said.

In the process of developing their own products — citrus-cured salmon, Meyer lemon pickles, panir (an East-Indian country-style cheese) — Bragg and Grassi use all their own recipes.

Before joining Thunderbird Cafe, Bragg studied art, then did retreat cuisine, working with Deepak Chopra at his Center for Well Being in La Jolla, and wrote a cookbook, "A Simple Celebration," which is sold at the cafe and market and at some local bookshops.

Before starting and operating Le Famiglie Personal Cuisine catering, Grassi earned degrees in philosophy and theology from Johns Hopkins University and St. Mary's Seminary, both in Baltimore, and was a commander in the Navy. Grassi and Bragg's unifying force is a passion for cooking and for people. "Basically, we're creative savants," Bragg said. "We're both artists — in the fine arts and kitchen arts."

Currently, Bragg is doing all the baking and dessert making. She bakes the sandwich



Ginna Bell Bragg and Gianni Grassi are shown here before shining deli cases. The far left case displays 12 tempting and unusual salads, the case further to the right shows off entrées to be eaten there at the Cornucopia Cafe, or wrapped to be taken home for dinner. Their goal is to increase awareness of organic food in everyday living.

rolls fresh daily — olive, cheddar cheese and salt and pepper rolls — which Gianni makes into sandwiches of Tuscan grilled rib-eye steak, chicken Caesar, rotisserie turkey, rosemary salmon, lamb, and grilled vegetables. All sandwiches are \$7.

Griddle cakes

One of their signature dishes is griddle cakes, a combination of different vegetables or meats or grains made into patties and then cooked on the griddle. Currently on the menu are salmon, and Thai corn griddle cakes and a garden galette.

"Gianni makes a turkey meat loaf that is becoming a signature dish," Bragg said, "and we get lots of favorable comments on our two fresh pasta lasagne: turkey with béchamel sauce, and a vegetarian with marinara sauce."

Open for breakfast, lunch and dinner Monday through Friday from 7:30 a.m. until 7 p.m., and Saturdays from 9 a.m. to 7 p.m., the cafe draws a clientele with sophisticated

palates, according to Grassi. "These are people who love organics, wholesome, fresh and real foods," he said. "And that's what we do: wholesome, fresh, real."

Bragg makes orange coffee cake, pecan bars, scones with lemon, cranberry, cinnamon and raisin, and a savory scone of Gruyère cheese. She creates carrot coffee cake, a "Whipped Cream Ganache B'Gosh" — chocolate cake with whipped cream filling and chocolate ganache frosting, ground almonds and shavings of white chocolate.

It's Grassi who dreams up appealing names for their creations: "Sin-a-Minute (cinnamon) Buns," and a broccoli and barley stir-fry he calls "Edibly Pebbly."

Entrées for here or to go

Entrées and side dishes to be eaten in the cafe or taken home include chicken breast roulade, rotisserie chicken, garlic "smashed potatoes," "brilliant broccoli," shrimp and scallop pastas, grilled half artichokes, stuffed potatoes and risotto pie, to name a few.

Two fresh soups are made daily, such as cream of artichoke, and a turkey bacon and white bean soup at \$3 a bowl. And there are 12 different salads daily in the deli case. These are not just any deli case salads. These are original, gourmet delights, displayed appetizingly on colorful ceramic platters.

Coffee, espresso drinks, juices, beer and wine are also sold.

And Grassi said they do catering, as well as party trays, "with a sampling of all the different things. Everything is so fresh and organic — it's really quite different," he said.

For information, call 625-1050.

Monterey's Fish House

FISH • STEAKS • BURGERS

Voted for many years
"Best Fish House on the Peninsula"
Locals Favorite

Famous Oyster Bar
Oak Bar-B-Que
Steaks, Chops & Chicken

Always Fresh Local Seafood
including
Salmon • Swordfish • Sole
Snapper • Shrimp & Lobster
...and lots more!

LUNCH MONDAY-FRIDAY 11:30-2:30 PM • DINNER SEVEN DAYS FROM 5:30 PM

2114 DEL MONTE BLVD. • MONTEREY • 373-4647

Summer Zin-Q

JOULLIAN

CARMEL VALLEY

◆ Taste Joullian Wines

◆ New Vintage Release of Estate Zinfandel

◆ Carnivorous BBQ for a Nominal Fee

◆ Vineyard Tour

◆ A Zinfully Good Time!

Joullian Vineyards estate winery is open by appointment & for events.

Our New Village Tasting Room is open daily 11 am- 5 pm

ZIN-Q: ZINFANDEL RELEASE & BBQ
Saturday, June 24 • 11:00 - 4:00 pm

20300 Cachagua Road • Carmel Valley
(831) 659-2800 • Toll Free (877) 659-2800

DIRECTIONS:
East on Carmel Valley Road to milepost 29.2
Turn right on Tassajara Road
— 1.3 miles to Castagnoli Road (right turn)
— 2.0 miles to "Joullian" rock wall gate (left turn)

831-625-6219
7250 Carmel Valley Rd.
Just 3.5 miles from Highway 1

Please visit www.ebfarm.com for calendar of Saturday Events and farm-fresh updates.

OPEN: 9 to 6 Mon - Sat
10 to 5 Sundays
April - October

ORGANIC

Visit Our Farm Stand

THIS SATURDAY
Chef Walk!
10 a.m. to noon

Shop where the vegetables grow.

Why wait for a farmer's market to buy fresh-from-the-fields organic fruits and vegetables? Our beautiful Carmel Valley Farm Stand is open every day, offering a bountiful harvest of more than 50 signature products grown right here on the farm. We also carry gourmet natural foods, organic fresh flowers, and gifts. So leave the hustle and bustle behind—shop at the farm. Enjoy the magic!

Carmel Valley

CENSUS

From page 1A

"The law says I get to keep my seat anyway until my term expires next year, but after that, I'm not sure," Calcagno said.

After redistricting, Moss Landing will either become part of Edith Johnsen's 4th District — Marina, Fort Ord and Seaside — or part of Judy Pennycook's 2nd District, which includes Prunedale and other Salinas suburbs, Calcagno

said.

With Monterey County's population at 401,762, each supervisorial district is supposed to contain about 80,000 people. But most of the 45,000 new residents in the county since 1990 have settled in Salinas and the Salinas Valley. Supervisorial districts have to be redrawn to give those residents their say.

Not only does redistricting mean that Calcagno will lose his district altogether, it means 5th District Supervisor Dave Potter's territory will grow substantially.

"Potter will probably get the Highway 68 corridor, Del Rey Oaks and communities on Los Laureles grade," said redistricting committee chair Sam Karas. That will benefit some of the upscale people living along Highway 68, Karas said, because they'll get more attention paid to their no-growth agenda once they're allied with the no-growth forces in the Monterey Peninsula. But it also continues a trend of lessening political power of the peninsula, where communi-

ties like Carmel, Pebble Beach, Pacific Grove and Monterey lost population during the last 10 years.

Calcagno was philosophical about losing his district.

"What's important is for the rural communities in the county to have representation," Calcagno said. "I want a North County district and a South County District to represent rural residents. What happens to me isn't important."

To be able to run for reelection from the 3rd District in 2002, Calcagno, a dairy farmer and businessman, said he might move to the Salinas Valley. Or, he might decide to run in whichever district gets Moss Landing.

"I'll make my decision after I see what the final map looks like," he said.

The redistricting plan is scheduled to be finalized June 18 by Karas' committee before being forwarded to the supervisors. After it is approved by the county, it will be forwarded to the U.S. Department of Justice to make sure it doesn't discriminate against minorities.

COASTAL

From page 1A

mendment to allow the demolition.

"It's a tough call," he said. "I'm inclined in this particular case to decide with staff" because the house no longer fits in with the surrounding commercial area and because Judge O'Farrell decided that the city was justified in allowing the home to be demolished.

But when Reilly learned that staff had not reviewed Judge O'Farrell's most recent decision throwing out the city procedures for dealing with potentially historic buildings — the final action on the very same court case that allowed the Hitchcock House demolition — he suggested the hearing be continued to next month's meeting in Santa Rosa.

Carmel Preservation activist Enid Sales attended the meeting, held at a hotel near Los Angeles International Airport, and urged the commission to save Hitchcock House.

"This is probably one of the last times you will be able to preserve one of the last intact structures," she said. "Carmel Preservation Foundation would like to use this house as its headquarters and rehabilitate it using Secretary of the Interior standards."

But Mandurrago defended his plans, saying the building cannot be saved and the community would be much better served by a senior residential facility downtown.

He argued that the court's ruling on how the city processes applications on old buildings does not affect his plans. All it does is dictate when and how a potential historic resource is analyzed — something the Hitchcock House has already undergone, he said.

"That would send them down the road which I've already been down," Mandurrago told the commission. "We've done the EIR, been through the litigation — it doesn't change anything."

Several commissioners said they were tired of dealing with so many difficult applications because of Carmel's lack of a Local Coastal Plan. Once the LCP is completed and certified, the commission will no longer be responsible for granting permits on such projects.

"We need to look at it

frankly not as to whether the EIR was correct, but will this impact the community in such a way as to prejudice the LCP?" Wan asked. "We see one or two of these every month."

Commissioner Cecilia Estolano, the sole vote against a continuance, said a permit moratorium couldn't be invoked arbitrarily. "We have to have a substantive reason — not just that we want you to do your LCP so we're going to reject all your projects," she said.

Fifth District Supervisor Dave Potter did not attend the meeting, but Wan said he had left her a message saying he thought the house should be saved.

"If we voted today, I would vote not to allow the demolition," Wan said.

Regardless of the outcome, Mandurrago said he will not give up on the project he started six years ago.

"I'm going to keep fighting. I started this for my dad and it took so long that he died, so now I'm committed," he told The Pine Cone. "It's more than a project, or a business proposal or a design — it's a crusade in memory of my father, so I'm on a quest."

Mail Boxes Etc. to deliver dream request to high school student

PINE CONE STAFF REPORT

MAIL BOXES Etc.'s We Deliver Dreams Foundation will make a special delivery of a Macintosh computer with special educational software and Internet access, which will help a Seaside teenager finish high school.

MBE's young recipient, Alan Lopez, was born with a profound hearing loss and at age 5 was diagnosed with Duchenne's Muscular Dystrophy — one of the most severe forms of muscular dystrophy.

The boy's special education teacher, Susan Newton wanted to help her highly motivated student and recently approached the local MBE Center to see if they would sponsor his dream request. He needs a specially equipped computer with New Millennium Encyclopedia, Excel High School Study Skills, World Discovery Deluxe and Oregon Trail II.

Lopez' dream will come true June 20, when MBE franchisee Jill Sleeper delivers the new computer to him.

MBE established its We Deliver Dreams Foundation in 1998 to fulfill dreams of children who are victims of violence, neglect, abuse, poverty or illness.

VALLEY VILLAGE SELF STORAGE

Units from 5x5 to 10 x 35

Monday - Friday • 7:30AM - 5:00 PM
Saturday - Sunday • 8:00 AM - 3:00 PM

15 Delfino Place
Carmel Valley, CA
(831) 659-5322

www.selfstorage.net/valleyvillage/
Owners Roger & Dodie Williams

Answer to This Week's Puzzle

L	A	M	B	S	A	B	A	B	A	I	C	E	R	M	A	M	A
A	S	I	A	N	N	O	R	A	D	C	L	U	E	A	N	T	I
S	H	E	C	A	N	T	H	O	L	D	H	E	R	W	I	C	K
S	E	N	T	R	A	R	O	B	E	D	F	O	R	M	A	L	L
H	A	R	I	I	F	I	H	A	D	A	H	A	M	P	E	R	
A	R	E	A	A	F	R	O	A	L	E	V	E	D	E	B	B	Y
L	I	E	N	S	O	W	S	D	R	A	B	S	O	R	O		
O	L	D	T	W	I	N	E	A	N	D	D	I	N	E	C	A	R
K	N	E	A	D	T	O	W	E	L	A	B	R	A	D	E		
M	I	R	A	G	E	S	O	L	A	R	P	R	I	O	R	Y	
G	E	L	A	T	O	S	P	R	A	Y	I	O	N	I	A		
A	W	L	N	O	P	A	I	N	N	O	C	A	N	E	T	W	A
L	E	E	A	S	L	A	N	E	W	A	N	P	T	E	R		
A	D	R	A	G	A	R	I	S	E	A	R	I	A	R	A	N	T
S	T	A	N	S	H	I	F	I	T	K	O	S					
A	C	R	I	D	I	T	Y	L	A	B	E	L	U	N	S	E	E
W	H	A	T	A	M	E	S	H	C	R	E	E	L	P	E	O	P
A	M	I	E	O	L	E	O	E	A	R	N	S	A	N	I	S	E
G	O	L	D	V	E	R	B	S	N	O	O	D	L	E	C	A	R

EXPERIENCE THE DREAM

Marinus
AT BERNARDUS LODGE

Two New Reasons to Dine at Marinus
at Bernardus Lodge Beginning June 1, 2001

BERNARDUS PROUDLY
ANNOUNCES
THE RELEASE
OF THE 2000
SAUVIGNON BLANC

In honor of its release,
Marinus at Bernardus
Lodge is making a very
special offer: Receive
a complimentary food
pairing from Executive
Chef Cal Stamenov with
the purchase of a glass of
2000 Bernardus Sauvignon
Blanc. Offer valid June 1-
June 30, 2001.

BERNARDUS LODGE
ANNOUNCES
THE OPENING
OF THE MARINUS TERRACE
FOR AL FRESCO DINING

Enjoy the Marinus
menu in the warm
Carmel Valley sunshine
while gazing at the
dramatic views of the
Santa Lucia Mountains.
What a perfect time to
dine outdoors.

Restaurant and Terrace open daily for dinner
6:00 pm to 9:30 pm

RESERVATIONS 831-658-3550

www.bernardus.com






Instant Lawn

SOD DIRECT FROM OUR FIELD
TO YOUR HOME!!

Safe • Soft • Immediate

CALL TODAY 800.673.3058

GREENFIELDS TURF, INC.



PARKER CONSTRUCTION

624-2627

OCEAN AVE. & MISSION ST.
P.O. BOX 135 • CARMEL, CA • 93921
CONTRACTOR LIC. #531471

BERNARDUS
LODGE

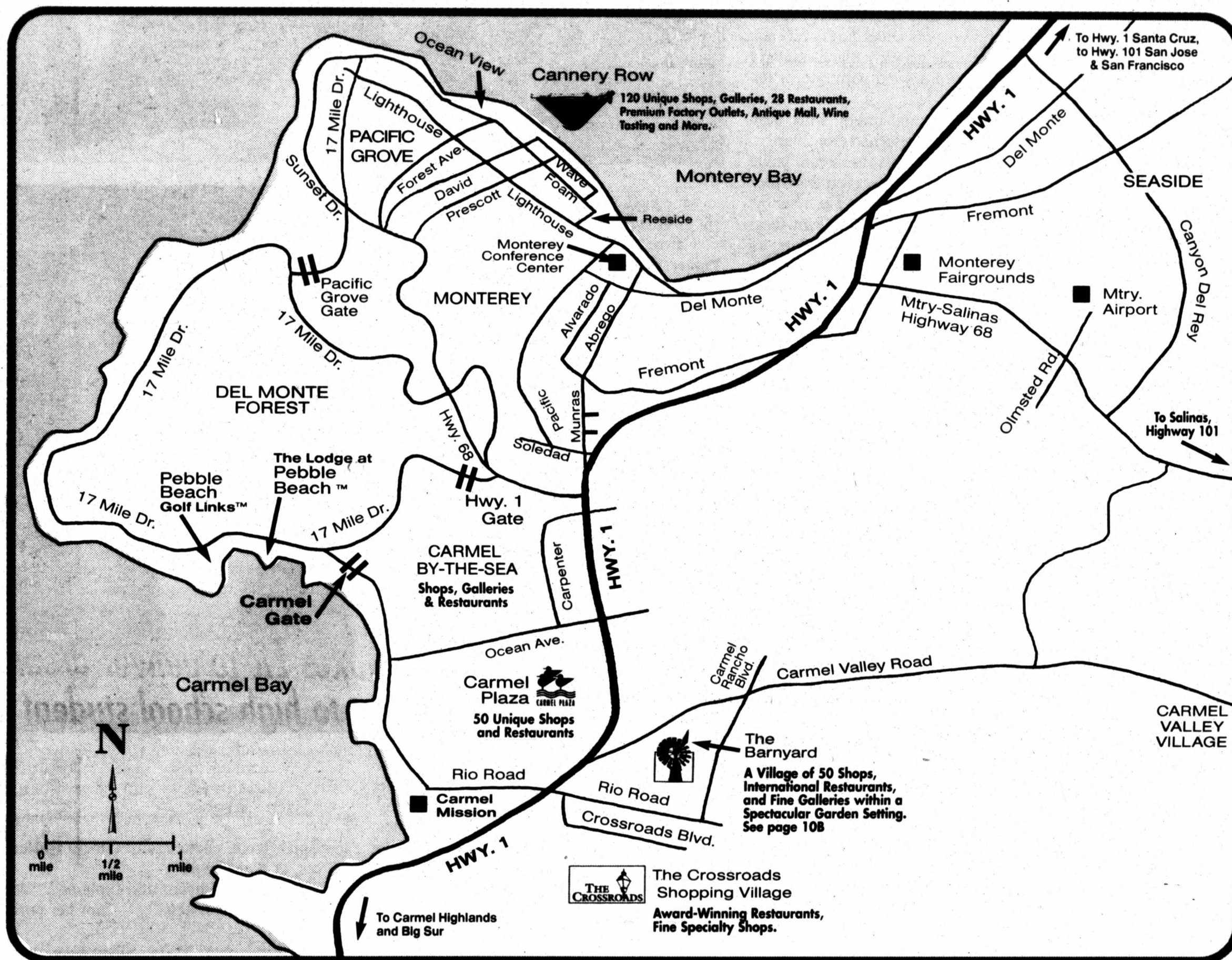
115 CARMEL VALLEY ROAD

The Carmel Pine Cone

This Week

Arts & Entertainment • June 15 - 21, 2001

Carmel • Pebble Beach • Carmel Valley & The Monterey Peninsula



MONTEREY
Cypress Community Church
hosts an exciting
MUSICAL EVENT...
Spirituals Night!
June 16
Call 373-0425

CARMEL
Carmel Bach Festival
July 14 - Aug. 5
Tickets on sale now
See page 15A

MONTEREY
16th Annual Monterey Bay
Blues Festival
June 22-24
See page 24A

Dining Around the Peninsula
CARMEL
Hog's Breath11B
CARMEL VALLEY
Marinus
at the Bernardus Lodge ..12A
MONTEREY
Peter B's
at the DoubleTree16A
Gianni's Pizza15A
Crazy Horse Saloon
at the Bay Park Hotel ...15A
PACIFIC GROVE
Fandango14A

'CLOSER' EXAMINES '90S RELATIONSHIPS WITH UNFLINCHING INTENSITY

WINNER OF the Laurence Olivier Award for Best New Play in England, "Closer" previews tonight (June 15) and formally opens Saturday, June 16 in the Circle Theatre of the Golden Bough. This production of Pacific Repertory Theatre is open only to persons age 16 and older.

"It's not a pornographic piece," explained director John Rousseau. "The four characters discuss sex acts directly, but those are just the trappings of the play. 'Closer' shows how sexual drive can really lead to selfishness. It's about relationships and people in the '90s in a real, unflinching way."

Rousseau recently directed "ART" by Jasmina Reza for PRT.

"Closer" will have a half-price preview at 7:30 p.m. Friday, June 15. It opens at 7:30 p.m. Saturday, June 16 and plays at 7:30 p.m. Fridays and Saturdays through June. In July, it will rotate in repertory with "The Cherry Orchard," starring Olympia Dukakis.

The Circle Theatre of the Golden Bough is on Casanova between Eighth and Ninth, downtown Carmel-by-the-Sea.

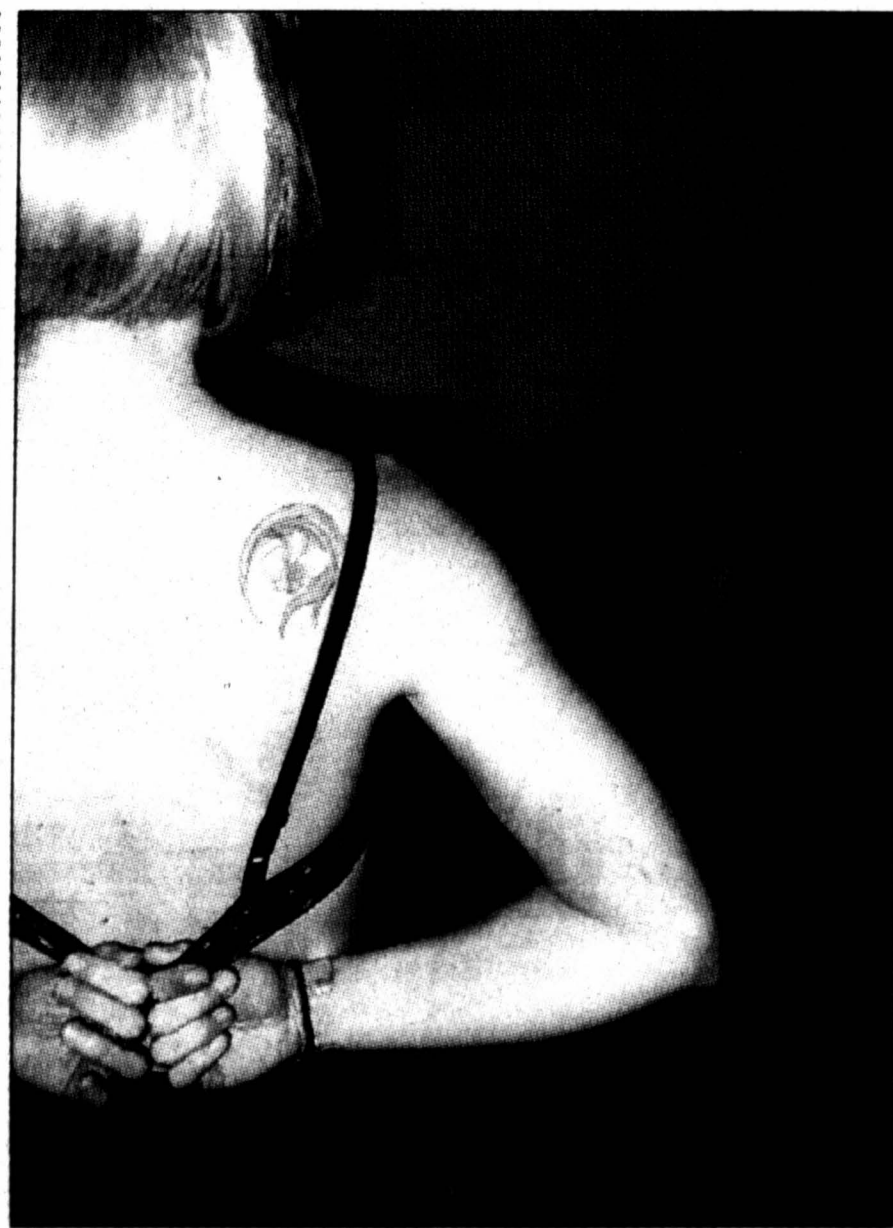
Regular ticket prices are \$20 general, seniors are \$15, students/teachers/military are \$10.

On Saturdays, general admission is \$24, seniors are \$18, students/teachers and military are \$12.

For tickets, call 622-0100.



Julie Hughett is Anna and John Farmanesh-Bocca is would-be novelist Dan in Pacific Repertory Theatre's staging of "Closer" by Patrick Marber.



WHAT: Lucinda Ulrich and Rachel Binder are castmates in "Accomplice," directed by Ralph Senensky

WHEN: 7:30 p.m. Fridays and Saturdays, 2 p.m. Sundays through July 22 (no performances July 6-8)

WHERE: Magic Circle Center for the Arts, El Caminito off Carmel Valley Road in Carmel Valley Village

COST: \$15 and \$13

INFO/RESERVATIONS: 659-1108

SONGS OF ITALY HEARD AT CARMEL WOMAN'S CLUB

HERE'S A story of capitalism run amuck:

A luxury car company (that shall remain nameless) is offering a loan at zero percent interest to anyone wishing to buy one of its cars.

Should you not feel sufficiently motivated by that, the company will even make the first payment for you.

Frankly, if they're going to play hardball like that, I don't see why they can't also throw in a chauffeur for the car, a Lear jet (and crew) with a year's supply of gas, a nanny for my dog, and a butler who won't turn up his nose at the short distance between my front and back door — of the overpriced cottage I mean to keep.

"AN EVENING in Italy" was organized June 9th at the Carmel Woman's Club by the **Friends of Monterey Opera**.

With board members playing Italian waiters for the evening (**Flo Snyder** looked particularly spiffy in her getup), guests were



Pine Needles

By Sissi Maleki

treated to great Italian food favorites. Tenor **Erasimo Aiello** serenaded the throng.

Fleece Dennis decorated the tables very simply except for the striking crystal candle lamps as centerpieces.

Patricia Ramsey shared

with everyone the progress of her new business, "Remarkables," for which she hunts down one-of-a-kind objects.

Helen Cohan invited three of her bridge partners, **Pete Goode**, **Annette Smith** and **Carla Isberg**, to the event.

Singer **Norma Mayer** and hubby/flutist **Richard** brought along their gorgeous daughter **Summer Johnson**, 16. Summer's more into drums and basketball...

Other guests included **Morley Brown**, **Ron Weitzman**, **Gloria Costa** and **Kim Rennick**.

■ Stonepine hosts unforgettable garden party

Write a reminder to yourself on next year's calendar:

Don't miss the annual **"Sunday at Stonepine"** garden party organized by our

local Meals on Wheels!

Held June 10 at the gorgeous Carmel Valley resort, it was the first such event and what a success it was!

Chair **Demi Briscoe** and event committee member **Barbara Booker** had a veritable mutual admiration society going, each praising the other for all the work done. And they also thanked their stars for the generosity of Stonepine's **Daniel Barduzzi**.

Phyllis Hubbard, fashion show narrator, was totally in her element, especially with the great job **Cyrann Castle** and **Nedda Lentini** did as show co-chairs.

Interior designer **Jan Gardner** was her usual elegant self, and **Dr. Alan & Anneli Rosenthal**, always nuts about dogs and cats, had their eyes on the princely black standard poodle that paraded around with one of the models.

Barbara (Booker) and hubby Bob were exhausted, having just returned from Paris.

"I told him, 'Just find some white pants that aren't too wrinkled,'" recalled Barbara.

Skip Lord, interior designer **Liz's** hubby, keeps being mistaken for well-known local attorney **Skip Lloyd**. "I get calls asking to write up wills," laughed the retired aerospace engineer. The two Skips, by the way, are good friends.

Note, too, that the classic cars on display were so cool, Skip couldn't help but notice. With one car, "The attractive model had stepped out and was already across the way,



Charlie Page got talked into clowning around at the Library Foundation benefit.



Walter Alsky, Morley Brown and Flo Snyder as an Italian waiter had some laughs at the Monterey Opera event.

and the guys still had their eyes on this classic Cadillac!"

Carmel Valleyites **Dorothy McEwen** and **Penny Wood** shared notes on the fashions while **Joe & June LaMantia** caught up with many friends they missed during their recent months in Palm Desert.

Executive director **Viveca Lohr** revealed MOW was seriously looking at expansion options — or rather, "trying to figure out how we'd pay for it!"

Volunteer driver **Marcia Keely**, who's been delivering meals since '82, freely admits, "It's the highlight of my week!"

Rosemarie Rausch & Donna Conrad came with husbands **Norman & Norman (!)** who owned Model A classics and were using them to transport guests that day.

All in all, a fabulous afternoon!

■ Former Congresswoman Pat Schroeder delights crowd

The fifth annual **Literary Feast of the Carmel Public Library Foundation**, held June 11 at the home of **Dr. William & Duncan Lewis**, was a feast in almost every sense.

Featuring "recovering politician" **Pat Schroeder**, currently head of the Association of American Publishers, the feast regaled guests with funny anecdotes from the former Congresswoman's public life.

For instance, Schroeder recalled that in her early years in Congress, to those who questioned how she could be in politics and have kids at the same time, she'd reply: "I have a brain and a uterus — and they both work!"

She later swapped stories with Superior Court Judge **Susan Dauphiné** of their days at law school in the '60s, where they were the token females.

Guests also "oohed and aahed" at the magnificent home and its stunning views of the bay, and made short work of the Pebble Beach-sponsored buffet.

Barbara Brooks quipped, "I hope she doesn't think everyone here lives like this!"

Of course, the house would've been perfect to house Oscar-winning actress **Olympia Dukakis** when she'll be performing at the Pacific Repertory Theatre next month.

Barbara, a theater board member, is so excited "to have an actress of that caliber with us!"

Mary May Altenburg, whose schedule of volunteer committee obligations would make one's head spin, was graciously helping with guests, as usual.

Nell Milich, in an elegant, daffodil yel-



Duncan Lewis hosted former congresswoman Pat Schroeder in the Lewis' magnificent Pebble Beach estate for the Library Foundation fundraiser.

low spring coat, chatted with **Gloria Didion** — yes, of *that* Didion.

Both are Republicans and explained, "We like Pat for her personality — not her politics!"

Board member **Marv Silverman** gave **Paula Walzer** the VIP treatment, as she's one of the fairy godmothers of the library. Paula and her hubby **Stuart** lead the Monterey Library's regular book discussion group.

Sue Dewar spoke of the great party she had attended for local historian & columnist **Bonnie Gartshore**. "Somebody put paradise together in Monterey's Memory Garden," she said.

Fred & Ramona Bohlander, serious hikers, were still annoyed at the new sign for Garland Park — "a plastic sign that looks like a tombstone," as Ramona put it.

Foundation executive director **Carol Pendergast** brought along her beautiful daughter **Jennie**, visiting from New York.

Others there included **Anne McGowan**, **Melanie Billig**, **Betty Meyer**, **Lita Steklof**, **Dr. & Ann Packer**, **Toni Glaser** with "baby sister" **Jeanne Davis**, **Cher Allen**, **Jean Draper**, **Lucy Reno**, **Zaza & Howard Skidmore**, **Steve & Barbara Brooks** and **Charlie Page**.

Accomplice

by Rupert Holmes

LIVE THEATRE at Magic Circle Center

June 15-July 22

(no shows July 6, 7, 8)

Fridays & Saturdays 7:30PM - Sunday 2PM

\$15 General Admission

\$13 Members, Seniors, Students, Military

TICKET HOTLINE: 659-1108

"A COMEDY THRILLER THAT WILL KEEP YOU ON THE EDGE OF YOUR SEAT!"

"The comedy-thriller of all comedy thrillers. The standard by which the genre should be set."

L.A. Theatre & Entertainment Review

Some of the most brilliant dialogue I've heard in any Broadway play! You CANNOT second-guess Accomplish."

Rex Reed, New York Observer

MAGIC CIRCLE CENTER

8 EL CAMINITO, CARMEL VALLEY VILLAGE

food, fun...

foodland

CUISINES OF THE SUN

Pastas, Paella, Couscous

MESQUITE GRILLED

Rack of Lamb, Fresh Seafood

HOUSE PREPARED

Pastries, Cakes, Souffles & Creams

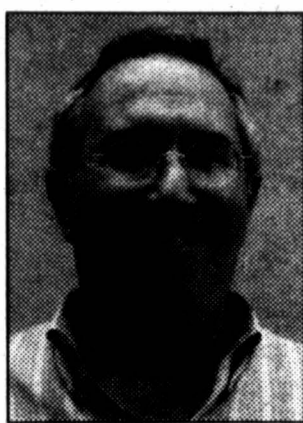
Banquet rooms available seating 10-50 guests.

OPEN 7 DAYS • LUNCH • DINNER • SUNDAY BRUNCH • FULL BAR

223 17TH STREET, PACIFIC GROVE • 372-3456

Weekend events pay tribute to 1967 Monterey Pop Festival

THE MONTEREY Fairgrounds provided the setting for the world's first large rock festival in 1967. Monterey Pop featured the likes of Jimi Hendrix, Janis Joplin, Ravi Shankar, The Who and Eric Burdon and the Animals in an event Burdon recalled as "the *only* pop festival. Everybody else tried to copy Monterey, copy the feeling. You can't copy feelings."



Plugged In

By Stephen L. Vagnini

In tribute to that landmark event, the Monterey History and Art Association sponsors a three-day symposium beginning at 6 tonight (June 15) with an opening reception at the Monterey History Center in the Custom House Plaza, Monterey. Monterey Pop Revisited continues 9 a.m. to 5 p.m. Saturday and Sunday, June 16-17 at the Monterey Fairgrounds. It will feature photo and memorabilia exhibits, panel discussions and interviews, plus performances by some of the musicians who performed during the summer of love.

Friday night's activities will feature an exhibition of photos by Elaine Mays and Carmel Valley resident

Tom O'Neal, memorabilia provided by festival founder Lou Adler and a concert featuring keyboardist Mark Naftalin of the Butterfield Blues Band and Joe McDonald plus David Cohen of Country Joe and the Fish.

Saturday and Sunday will focus on panel discussions comprised of an eclectic group of participants that includes musicians Michelle Phillips (Mamas and the Papas), Jack Casady and Jorma Kaukonen (Jefferson Airplane), journalists Joel Selvin and Charles Davis, filmmaker D.A. Pennebaker, stage manager and Big Sur resident Paul Vieregge, plus local businessman and former Monterey County Supervisor Sam Karas.

For tickets and a complete schedule of information call (866) POP-FEST or check out the symposium's web site at www.popfestmonterey.com.

Performing at Sly McFly's this Saturday night (June 16) is yet another former participant of Monterey Pop and a panelist at this weekend's symposium, Barry Melton. Melton, a former member of Country Joe and the Fish, will appear at Sly's with keyboardist Banana (Youngbloods), bassist Steve Ashman (Zazu Pitts Memorial Orchestra) and Roy Blumenfeld (former drummer for The Blues Project).



Jimi Hendrix at Monterey, 1967

Melton is also known for his '80s rock band the Dinosaurs and currently resides in Davis, where he serves as assistant chief public defender for Yolo County. Keeping in mind that a slew of former Monterey Pop musicians will appear at this week's symposium, can a jam session be in store? Call 649-8050 for more information.

The Monterey Bay Blues Festival turns 16 next Friday, June 22 and like any normal adolescent shows signs of change and uncertainty. Nevertheless the MBBF is thriving and celebrates yet another sold-out season with concerts by legendary performers James Brown,

Etta James and Little Richard. The three-day event also features a plethora of regional and national music.

Whereas there are those who will complain that the music is not "da blues," the directors of the Monterey Bay Blues Festival have succeeded in creating an annual festival that showcases a wide variety of music (including blues and blues related music) while raising considerable monies for deserving local musicians and community organizations.

In addition to the aforementioned trio of superstars, performers scheduled to appear on the Main Stage include Magic Slim, Clarence Carter, Sonny Rhodes, Shemekia Copeland, W.C. Clark, Mighty Clouds of Joy, Bobby Rush as well as Carmel teen sensations the Blue Tones.

Tickets to the Main Arena are unofficially sold out but usually can be purchased for a reasonable price from scalpers outside the fairgrounds. Grounds passes are still available through the Blues Festival Box Office and gain admission to the fairgrounds and two stages of non-stop entertainment. Groups not to miss at the Garden and President Stages this year are The Delgado Brothers (Friday night), Little Charlie & the Nightcats (Saturday night), Albert Adams (Sunday afternoon) and Bobby Murray (Sunday evening).

For ticket information and a detailed schedule, check out their web site at www.montereyblues.com.



At the Jazz & Blues Company this Saturday (June 16), vocalist Denise Perrier returns for an evening of blues and jazz delivered in the style of Bessie Smith and Dinah Washington. A key figure in the San Francisco jazz community, Perrier's tribute to Washington has received critical acclaim from San Francisco to Washington D.C. She performs this Saturday in Carmel in support of her latest CD, accompanied by pianist Al Plank and bassist Kash Killion.

The following Saturday (June 23), Mad and Eddie Duran appear at the intimate Carmel venue. Dubbed "San Francisco's first couple of instrumental jazz," the Duran Duo features Eddie on guitar and Madalaine on woodwinds. The husband and wife team plays material from the golden age of bebop combined with Latin rhythms. For reservations call 624-6432.

CRAZY HORSE
RESTAURANT



FAMOUS SALAD BUFFET

Call 649-4771 for Information

Private Rooms Available for Banquets

Munras Ave. at Highway 1 Above the Bay Park Hotel

Single Tickets Now On Sale!



Bach lives in Carmel

CARMEL BACH FESTIVAL

July 14 - August 5, 2001

BRUNO WEIL

ELIZABETH WALLFISCH

SAT: Bruno Weil conducts J.S. Bach's Brandenburg Concerto No. 3, Cantatas 8, 195, 215, and Charles Ives' "The Unanswered Question." Historic Hotel del Monte.

SUN: St. Matthew Passion, Bach's incandescent vision of the gospel, reaches ecstatic heights. Bruno Weil leads the Festival Choral and orchestra. Historic Hotel del Monte.

MON: Mission Carmel Early Music Concerts. 7/16 Chants: A Feather on the Breath of God; 7/23 Exulta Filia: Purcell, Byrd, Gibbons; 7/30 Miracles: 14th Century Music of Renewal and Transfiguration.

TUES: "Elijah," Mendelssohn's passionate oratorio sung in English (Weil). Historic Hotel del Monte.

WED: "Illuminated Melody" Mission Carmel Candlelight Choral Concert; Bruce Lamott leads the acclaimed Festival Choral in majestic expressions of praise by J.S. Bach and Mendelssohn.

THUR: Baroque String Concerti led from the violin by the brilliant Elizabeth Wallfisch in an alluring evening of Vivaldi, Corelli, Tartini. Historic Hotel del Monte.

FRI: Mendelssohn Symphonic Movements, Mozart Symphony No. 40, Haydn Symphony No. 100 "Military" (Weil). Historic Hotel del Monte.

Good seats now \$15-55. Box office (831) 624-2046 www.bachfestival.org

KBach
CLASSICAL MUSIC FOR THE PEOPLE

One hundred world class musicians in a beautiful place

ON SALE NOW!

Beautifully illustrated with photos of Carmel and the Peninsula

Proceeds benefit the C.H.S. class of '51 scholarship fund

Send order to:

Carol Rissel, P.O. Box 1, Pebble Beach, CA 93953

Please send _____ copies of

THE PADRE COOKS @ \$15.00/each. \$ _____

Postage @ \$3.00/each ... \$ _____

Total \$ _____

Make checks payable to:

CHS '51 Scholarship Fund.

Send cookbook(s) to:

Name (please print) _____

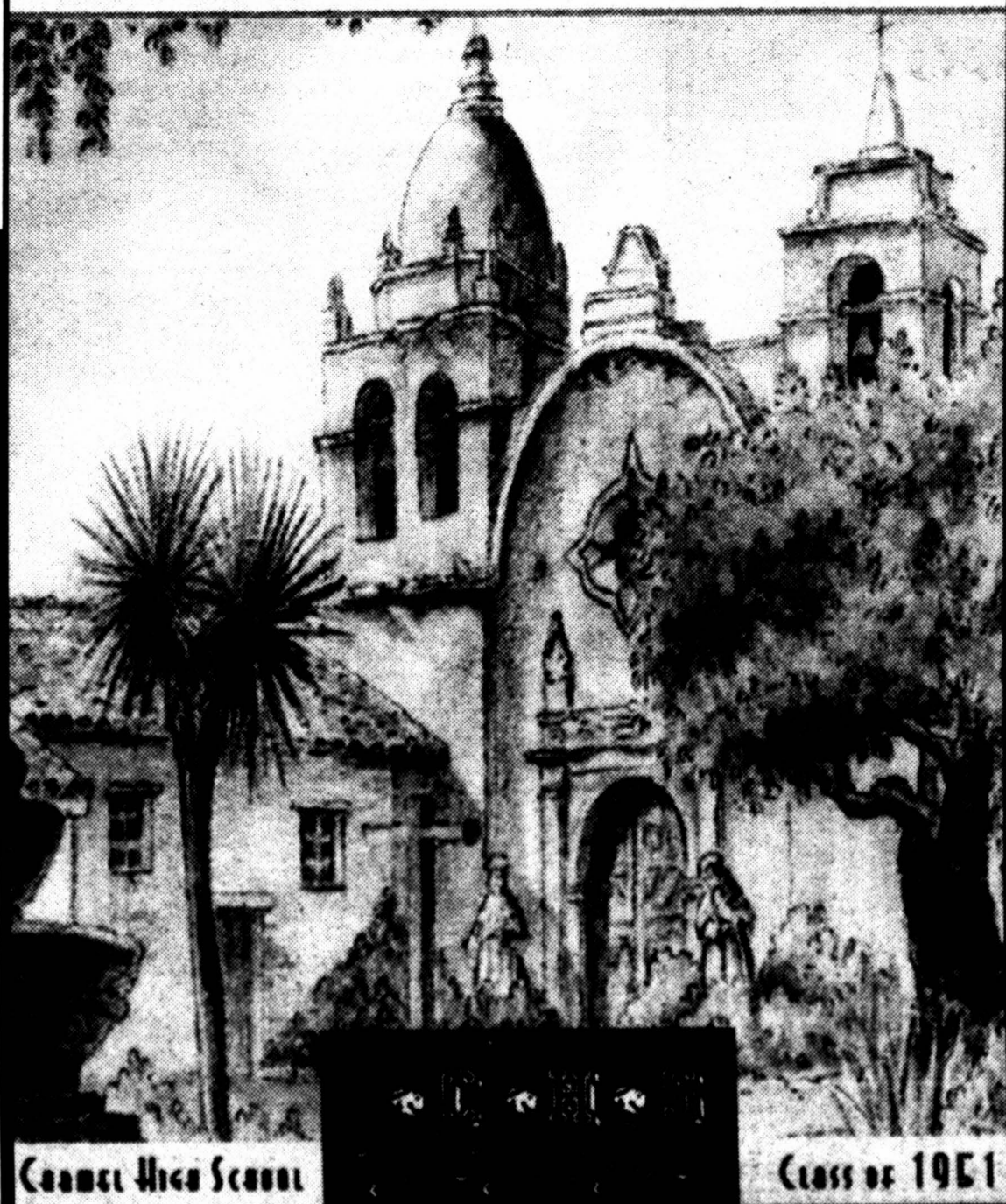
Address _____

City _____

State _____ Zip _____

THE PADRE COOKS

RECIPES FROM SEA AND SHORE
CARMEL-BY-THE-SEA



Carmel High School

Class of 1951

THE BOOKSHELF

Sark's back, advising us to listen to Zydeco in the bedroom and eat mangoes naked

"**EAT MANGOES Naked**" exhorts Sark in her very latest book which bears the subtitle, "Finding Pleasure Everywhere and Dancing with the Pits!"

A Pollyanna of sorts, Sark is, in her exuberance, a lot of fun to read — and she makes a lot of sense.

Hate changing a bed? Put on some New

Orleans Zydeco music to help get through the chore, she says (my own personal favorite is Little Richard singing "Good Golly, Miss Molly!"). Sark even insists that one can find pleasure during illness, at the periodontist, facing aging and mortality or even getting passed over for a promotion.

If you're new to Sark (pen name of Susan

Ariel Rainbow Kennedy), you're 10 books behind. Her penultimate book, "**Succulent Wild Woman**," was a best seller, as are her Inspired Gift Collection of prints, notecards and calendars.

Sark is now at the tail end of a 17-city cross-country booksigning tour: Her ultimate appearance will be at 12:30 p.m. Saturday, June 16 in the Barnyard gardens in front of The Thunderbird Bookshop. Winner of the creative mango dressing contest will be announced and will enjoy tea with Sark. Information: 624-1803.

The Bookshelf

By MARGOT PETIT NICHOLS



poetry read in his very own parlor?

□□□
PAT SCHROEDER, former congresswoman of Colorado, is a great women's advocate — but she's also beating the drum for literacy in our great United States. At the Golden Bough Monday afternoon (sponsored by the Carmel Public Library Foundation) she shocked the audience with the statistic that 66 percent of children from low-income homes in the U.S. haven't held a book before they start school. If only their parents had taken

them to their local library!

"There's nothing I like better than a library," she said — "and do you have an incredible one here! That huge fireplace! How do you get people to leave at night?" she asked.

Architect Bernard Maybeck was one of the best. And how lucky we are that he designed our own very-Carmel Harrison Memorial Library.

□□□

Mary Ellen Hicks, a Carmelite for more than 30 years, has written a collection of remembrances of her life entitled, "**Awakening**." And as the author is now in her eighties, her recollections encompass a life of

grief and loss, happiness and joy. The message in her book, she says, is that "the human spirit, no matter how old, can overcome whatever life throws at us." Hear, hear!

This is a self-published book and could well be a template for those thinking of producing one. Design and typesetting are beautifully executed by Hollie Davies. The author produced the artwork and charming photographs illustrate a number of the vignettes. Although the author says her remembrances are neither poetry nor prose, they are presented in poetry format, nicely centered on the pages, framed with lots of white space. The book retails for \$12.50 at The Thunderbird Bookshop with a good part of the proceeds to go to Hospice San Luis Obispo County, Mendocino Coast District Hospital Hospice Program and Hospice Foundation for the Central Coast.

DEL MONTE BEACH INN



A Charming Quaint
European Traditional
Bed & Breakfast

In the Heart of Monterey
Fisherman's Wharf Area

MOST AFFORDABLE RATES
\$44 to \$77 Mon.-Thurs.
\$55 to \$88 Fri.-Sun.
Double Occupancy
— JUNE SPECIAL ONLY —

1110 Del Monte Ave., Monterey, CA 93940
(831) 649-4410

SEP
STR82PB
The Golden State



Peter B's BrewPub...

Monterey's Only "Brewstaurant"!

With 10 micro-beers brewed right on the premises, great pub food, a warm and friendly atmosphere, pool table and 6 sports TVs, you'll have to agree that Peter B's is the place to be. **Open 7 days.**

www.doubletreemonterey.com

On the alley behind
the DoubleTree Hotel
2 Portola Plaza
Monterey
649-4511x138

AT THE BARNYARD, CARMEL



FRI — JUNE 15

Join Gates McKibbin, Ph.D., who will discuss and sign her book, **Forging Faith: Direct Experience of the Divine**. 7-8:30pm — FREE

SAT — JUNE 16

Speaking with Spirit with Gates McKibbin, Ph.D. An interactive workshop that allows John McKibbin, Gates McKibbin's father, and other spirits to come and offer guidance for your everyday questions. 1-5 pm in the Barnyard Community Room — \$40

SAT — JUNE 16

Meet the one and only Sark author of a new book, **Eat Mangoes Naked: Finding Pleasure Everywhere & Dancing with the Pits**. 12:30pm in the Barnyard Gardens — FREE

In conjunction, we invite you to participate in a contest by bringing your creatively dressed mangoes to the Thunderbird by June 14th. The winner will have "Tea with Sark". Call 624-1803 for more information.

WED — JUNE 20

Join Phillip Mountrose, holistic hypnotherapist & co-author of **Getting Thru to Your Soul: The Four Keys to Living Your Divine Purpose**. Phillip will discuss specific intuitive skills that can help you progress on the spiritual path. 7-8:30 pm — FREE.

831-624-1803

VISIT US ON OUR WEBSITE AT:
www.thunderbirdbooks.com

Peninsula Potters

Handmade Pottery
in Porcelain,
Stoneware & Raku



Hours:
Open 11 - 4
Daily

2078 Sunset Drive (Russell Service Center)
Pacific Grove • 372-8867

Reincarnation

Vintage &
Vintage Inspired
Clothing
1890's - 1950's

Mon. - Sat. 11-5:30
214 17th St.
P.G. • 649-0689



SHOPPING PACIFIC GROVE

BORDERS

Borders Welcomes California Artist and Children's Illustrator
Pam Carroll

TUESDAY, JULY 3 AT 11:00AM



Just in time for 4th of July,
Pam Carroll presents her book
entitled **A is for America**.

Written by Devin Scillian and illustrated
by Pam Carroll, this coast to coast trip through the
alphabet informs and entertains readers of all ages.
Please join us for this very special fun filled storytime.

Edgewater Center • Sand City • (831) 899-6643

CITY OF CARMEL-BY-THE-SEA
CITY COUNCIL
ORDINANCE NO. 2001-04AN URGENCY ORDINANCE AMENDING CITY PROCEDURES
RELATED TO ENVIRONMENTAL REVIEW OF PROPOSED
CHANGES TO HISTORIC RESOURCES

WHEREAS, the General Plan identifies as an issue of local significance the preservation of the historic and cultural attributes that make up the unique character of Carmel-by-the-Sea; and

WHEREAS, the General Plan also contains an Historic Preservation Element because there are resources within the community that have architectural, cultural or historic significance; and

WHEREAS, the City adopted an implementing ordinance for the Historic Resource Element in 1993 establishing criteria for identification of local historic resources and procedures for designation of those resources upon voluntary request by the property owner; and

WHEREAS, the adopted procedures require environmental review only for proposed demolitions of designated resources; and

WHEREAS, revisions to the California Environmental Quality Act, made after the City adopted its ordinance, establish that environmental review is required for proposed demolitions or alterations to all historic resources whether designated by the owner or not; and

WHEREAS, defects in the 1993 ordinance must be remedied to comply with the California Environmental Quality Act if the City is to continue processing planning applications.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA DOES ORDAIN AS FOLLOWS:

SECTION ONE. Amended Procedures.

The following amendments shown in strike-out and underline are hereby adopted:

17.41.050 Permit Review of Demolitions of Designated Structures Resources on the Candidate List.

A. Unless determined to be an hazardous structure by the Building Official which would cause eminent danger to life and adjoining property, the demolition of any designated structure or site identified as a significant historic resource on the Candidate List shall require review and approval by the Planning Commission based upon the Committees recommendation prior to the issuance of a building permit authorizing such action.

B. Applications for demolition shall be subject to the provisions of the California Environmental Quality Act (CEQA).

C. All requests for demolition shall be subject to the public hearing provisions of CMC 17.46.060.

D. As determined by the Planning Commission, no building permit for the demolition of a designated structure significant historic resource on the Candidate List shall be issued by the Department of Community Planning and Building for up to six months from the date the application is complete or 15 months if an environmental impact report (EIR) is required. No building permit for demolition shall be approved until new construction is approved for the site. After expiration of such period, if the application is still pending and all other permit requirements have been made, the Department of Community Planning and Building shall issue a demolition permit.

E. The purpose of postponement of the permit issuance is to allow the City and the property owner(s) to explore alternatives for preservation of the structure.

F. In order that the City will have a permanent record, prior to issuance of a building permit for the demolition of the designated structure the applicant shall be required to provide photodocumentation of archival quality or other documentation as determined by the committee for the affected structure.

17.41.060 Procedures and Criteria for Review of Any Alteration of a Designated Structure or Site Resource on the Candidate List.

A. Any exterior alteration of a designated ACH structure or site significant historic resource identified on the Candidate List shall require review and approval by the Planning Commission based upon the Committees recommendations prior to the issuance of a building permit authorizing such action. If the proposed alteration does not comply with the Secretary of the Interiors Standards for the Treatment of Historic Properties the project shall be subject to environmental review.

B. Review of all alterations of designated sites shall be approved in accordance with the following findings:

1. That the alteration is compatible with the architectural style of the existing structure.
2. That the alteration does not eliminate elements that are required to maintain the essential form and character of the structure.
3. That the alteration is compatible with adjoining structures and the use of such structures.
4. That the alteration is consistent with the Secretary of the Interiors Standards for the Treatment of Historic Properties.

C. All requests for alterations to designated resources and resources on the Candidate List shall be subject to the public hearing provisions of CMC 17.46.060.

D. Applications for alterations to designated resources and resources on the Candidate List shall include plans and specifications sufficient to show the proposed change in architectural appearance, color and texture of materials and the proposed architectural design of the structure. The application shall also show the relationship of the work to the surrounding environment.

17.41.080 Definitions.

D. Candidate List is a list of sites, structures or districts that, based on the identified criteria identified in 17.41.040, qualify as significant historic resource and could be designated as an ACH Resource.

SECTION TWO. Urgency Provisions.

This ordinance is declared to be an urgency ordinance as authorized by Sections 65000, 65001, 65002, 65003, 65004, 65005, 65006, 65007, 65008, 65009, 65010, 65011, 65012, 65013, 65014, 65015, 65016, 65017, 65018, 65019, 65020, 65021, 65022, 65023, 65024, 65025, 65026, 65027, 65028, 65029, 65030, 65031, 65032, 65033, 65034, 65035, 65036, 65037, 65038, 65039, 65040, 65041, 65042, 65043, 65044, 65045, 65046, 65047, 65048, 65049, 65050, 65051, 65052, 65053, 65054, 65055, 65056, 65057, 65058, 65059, 65060, 65061, 65062, 65063, 65064, 65065, 65066, 65067, 65068, 65069, 65070, 65071, 65072, 65073, 65074, 65075, 65076, 65077, 65078, 65079, 65080, 65081, 65082, 65083, 65084, 65085, 65086, 65087, 65088, 65089, 65090, 65091, 65092, 65093, 65094, 65095, 65096, 65097, 65098, 65099, 65100, 65101, 65102, 65103, 65104, 65105, 65106, 65107, 65108, 65109, 65110, 65111, 65112, 65113, 65114, 65115, 65116, 65117, 65118, 65119, 65120, 65121, 65122, 65123, 65124, 65125, 65126, 65127, 65128, 65129, 65130, 65131, 65132, 65133, 65134, 65135, 65136, 65137, 65138, 65139, 65140, 65141, 65142, 65143, 65144, 65145, 65146, 65147, 65148, 65149, 65150, 65151, 65152, 65153, 65154, 65155, 65156, 65157, 65158, 65159, 65160, 65161, 65162, 65163, 65164, 65165, 65166, 65167, 65168, 65169, 65170, 65171, 65172, 65173, 65174, 65175, 65176, 65177, 65178, 65179, 65180, 65181, 65182, 65183, 65184, 65185, 65186, 65187, 65188, 65189, 65190, 65191, 65192, 65193, 65194, 65195, 65196, 65197, 65198, 65199, 65200, 65201, 65202, 65203, 65204, 65205, 65206, 65207, 65208, 65209, 65210, 65211, 65212, 65213, 65214, 65215, 65216, 65217, 65218, 65219, 65220, 65221, 65222, 65223, 65224, 65225, 65226, 65227, 65228, 65229, 65230, 65231, 65232, 65233, 65234, 65235, 65236, 65237, 65238, 65239, 65240, 65241, 65242, 65243, 65244, 65245, 65246, 65247, 65248, 65249, 65250, 65251, 65252, 65253, 65254, 65255, 65256, 65257, 65258, 65259, 65260, 65261, 65262, 65263, 65264, 65265, 65266, 65267, 65268, 65269, 65270, 65271, 65272, 65273, 65274, 65275, 65276, 65277, 65278, 65279, 65280, 65281, 65282, 65283, 65284, 65285, 65286, 65287, 65288, 65289, 65290, 65291, 65292, 65293, 65294, 65295, 65296, 65297, 65298, 65299, 65300, 65301, 65302, 65303, 65304, 65305, 65306, 65307, 65308, 65309, 65310, 65311, 65312, 65313, 65314, 65315, 65316, 65317, 65318, 65319, 65320, 65321, 65322, 65323, 65324, 65325, 65326, 65327, 65328, 65329, 65330, 65331, 65332, 65333, 65334, 65335, 65336, 65337, 65338, 65339, 65340, 65341, 65342, 65343, 65344, 65345, 65346, 65347, 65348, 65349, 65350, 65351, 65352, 65353, 65354, 65355, 65356, 65357, 65358, 65359, 65360, 65361, 65362, 65363, 65364, 65365, 65366, 65367, 65368, 65369, 65370, 65371, 65372, 65373, 65374, 65375, 65376, 65377, 65378, 65379, 65380, 65381, 65382, 65383, 65384, 65385, 65386, 65387, 65388, 65389, 65390, 65391, 65392, 65393, 65394, 65395, 65396, 65397, 65398, 65399, 65400, 65401, 65402, 65403, 65404, 65405, 65406, 65407, 65408, 65409, 65410, 65411, 65412, 65413, 65414, 65415, 65416, 65417, 65418, 65419, 65420, 65421, 65422, 65423, 65424, 65425, 65426, 65427, 65428, 65429, 65430, 65431, 65432, 65433, 65434, 65435, 65436, 65437, 65438, 65439, 65440, 65441, 65442, 65443, 65444, 65445, 65446, 65447, 65448, 65449, 65450, 65451, 65452, 65453, 65454, 65455, 65456, 65457, 65458, 65459, 65460, 65461, 65462, 65463, 65464, 65465, 65466, 65467, 65468, 65469, 65470, 65471, 65472, 65473, 65474, 65475, 65476, 65477, 65478, 65479, 65480, 65481, 65482, 65483, 65484, 65485, 65486, 65487, 65488, 65489, 65490, 65491, 65492, 65493, 65494, 65495, 65496, 65497, 65498, 65499, 65500, 65501, 65502, 65503, 65504, 65505, 65506, 65507, 65508, 65509, 65510, 65511, 65512, 65513, 65514, 65515, 65516, 65517, 65518, 65519, 65520, 65521, 65522, 65523, 65524, 65525, 65526, 65527, 65528, 65529, 65530, 65531, 65532, 65533, 65534, 65535, 65536, 65537, 65538, 65539, 65540, 65541, 65542, 65543, 65544, 65545, 65546, 65547, 65548, 65549, 65550, 65551, 65552, 65553, 65554, 65555, 65556, 65557, 65558, 65559, 65560, 65561, 65562, 65563, 65564, 65565, 65566, 65567, 65568, 65569, 65570, 65571, 65572, 65573, 65574, 65575, 65576, 65577, 65578, 65579, 65580, 65581, 65582, 65583, 65584, 65585, 65586, 65587, 65588, 65589, 65590, 65591, 65592, 65593, 65594, 65595, 65596, 65597, 65598, 65599, 65600, 65601, 65602, 65603, 65604, 65605, 65606, 65607, 65608, 65609, 65610, 65611, 65612, 65613, 65614, 65615, 65616, 65617, 65618, 65619, 65620, 65621, 65622, 65623, 65624, 65625, 65626, 65627, 65628, 65629, 65630, 65631, 65632, 65633, 65634, 65635, 65636, 65637, 65638, 65639, 65640, 65641, 65642, 65643, 65644, 65645, 65646, 65647, 65648, 65649, 65650, 65651, 65652, 65653, 65654, 65655, 65656, 65657, 65658, 65659, 65660, 65661, 65662, 65663, 65664, 65665, 65666, 65667, 65668, 65669, 65670, 65671, 65672, 65673, 65674, 65675, 65676, 65677, 65678, 65679, 65680, 65681, 65682, 65683, 65684, 65685, 65686, 65687, 65688, 65689, 65690, 65691, 65692, 65693, 65694, 65695, 65696, 65697, 65698, 65699, 65700, 65701, 65702, 65703, 65704, 65705, 65706, 65707, 65708, 65709, 65710, 65711, 65712, 65713, 65714, 65715, 65716, 65717, 65718, 65719, 65720, 65721, 65722, 65723, 65724, 65725, 65726, 65727, 65728, 65729, 65730, 65731, 65732, 65733, 65734, 65735, 65736, 65737, 65738, 65739, 65740, 65741, 65742, 65743, 65744, 65745, 65746, 65747, 65748, 65749, 65750, 65751, 65752, 65753, 65754, 65755, 65756, 65757, 65758, 65759, 65760, 65761, 65762, 65763, 65764, 65765, 65766, 65767, 65768, 65769, 65770, 65771, 65772, 65773, 65774, 65775, 65776, 65777, 65778, 65779, 65780, 65781, 65782, 65783, 65784, 65785, 65786, 65787, 65788, 65789, 65790, 65791, 65792, 65793, 65794, 65795, 65796, 65797, 65798, 65799, 65800, 65801, 65802, 65803, 65804, 65805, 65806, 65807, 65808, 65809, 65810, 65811, 65812, 65813, 65814, 65815, 65816, 65817, 65818, 65819, 65820, 65821, 65822, 65823, 65824, 65825, 65826, 65827, 65828, 65829, 65830, 65831, 65832, 65833, 65834, 65835, 65836, 65837, 65838, 65839, 65840, 65841, 65842, 65843, 65844, 65845, 65846, 65847, 65848, 65849, 65850, 65851, 65852, 65853, 65854, 65855, 65856, 65857, 65858, 65859, 65860, 65861, 65862, 65863, 65864, 65865, 65866, 65867, 65868, 65869, 65870, 65871, 65872, 65873, 65874, 65875, 65876, 65877, 65878, 65879, 65880, 65881, 65882, 65883, 65884, 65885, 65886, 65887, 65888, 65889, 65890, 65891, 65892, 65893, 65894, 65895, 65896, 65897, 65898, 65899, 65900, 65901, 65902, 65903, 65904, 65905, 65906, 65907, 65908, 65909, 65910, 65911, 65912, 65913, 65914, 65915, 65916, 65917, 65918, 65919, 65920, 65921, 65922, 65923, 65924, 65925, 65926, 65927, 65928, 65929, 65930, 65931, 65932, 65933, 65934, 65935, 65936, 65937, 65938, 65939, 65940, 65941, 65942, 65943, 65944, 65945, 65946, 65947, 65948, 65949, 65950, 65951, 65952, 65953, 65954, 65955, 65956, 65957, 65958, 65959, 65960, 65961, 65962, 65963, 65964, 65965, 65966, 65967, 65968, 65969, 65970, 65971, 65972, 65973, 65974, 65975, 65976, 65977, 65978, 65979, 65980, 65981, 65982, 65983, 65984, 65985, 65986, 65987, 65988, 65989, 65990, 65991, 65992, 65993, 65994, 65995, 65996, 65997, 65998, 65999, 66000, 66001, 66002, 66003, 66004, 66005, 66006, 66007, 66008, 66009, 66010, 66011, 66012, 66013, 66014, 66015, 66016, 66017, 66018, 66019, 66020, 66021, 66022, 66023, 66024, 66025, 66026, 66027, 66028, 66029, 66030, 66031, 66032, 66033, 66034, 66035, 66036, 66037, 66038, 66039, 66040, 66041, 66042, 66043, 66044, 66045, 66046, 66047, 66048, 66049, 66050, 66051, 66052, 66053, 66054, 66055, 66056, 66057, 66058, 66059, 66060, 66061, 66062, 66063, 66064, 66065, 66066, 66067, 66068, 66069, 66070, 66071, 66072, 66073, 66074, 66075, 66076, 66077, 66078, 66079, 66080, 66081, 66082, 66083, 66084, 66085, 66086, 66087, 66088, 66089, 66090, 66091, 66092, 66093, 66094, 66095, 66096, 66097, 66098, 66099, 66100, 66101, 66102, 66103, 66104, 66105, 66106, 66107, 66108, 66109, 66110, 66111, 66112, 66113, 66114, 66115, 66116, 66117, 66118, 66119, 66120, 66121, 66122, 66123, 66124, 66125, 66126, 66127, 66128, 66129, 66130, 66131, 66132, 66133, 66134, 66135, 66136, 66137, 66138, 66139, 66140, 66141, 66142, 66143, 66144, 66145, 66146, 66147, 66148, 66149, 66150, 66151, 66152, 66153, 66154, 66155, 66156, 66157, 66158, 66159, 66160, 66161, 66162, 66163, 66164, 66165, 66166, 66167, 66168, 66169, 66170, 66171, 66172, 66173, 66174, 66175, 66176, 66177, 66178, 66179, 66180, 66181, 66182, 66183, 66184, 66185, 66186, 66187, 66188, 66189, 66190, 66191, 66192, 66193, 66194, 66195, 66196, 66197, 66198, 66199, 66200, 66201, 66202, 66203, 66204, 66205, 66206, 66207, 66208, 66209, 66210, 66211, 66212, 66213, 66214, 66215, 66216, 66217, 66218, 66219, 66220, 66221, 66222, 66223, 66224, 66225, 66226, 66227, 66228, 66229, 66230, 66231, 66232, 66233, 66234, 66235, 66236, 66237, 66238, 66239, 66240, 66241, 66242, 66243, 66244, 66245, 66246, 66247, 66248, 66249, 66250, 66251, 66252, 66253, 66254, 66255, 66256, 66257, 66258, 66259, 66260, 66261, 66262, 66263, 66264, 66265, 66266, 66267, 66268, 66269, 66270, 66271, 66272, 66273, 66274, 66275, 66276, 66277, 66278, 66279, 66280, 66281, 66282, 66283, 66284, 66285, 66286, 66287, 66288, 66289, 66290, 66291, 66292, 66293, 66294, 66295, 66296, 66297, 66298, 66299, 66300, 66301, 66302, 66303, 66304, 66305, 66306, 66307, 66308, 66309, 66310, 66311, 66312, 66313, 66314, 66315, 66316, 66317, 66318, 66319, 66320, 66321, 66322, 66323, 66324, 66325, 66326, 66327, 66328, 66329, 66330, 66331, 66332, 66333, 66334, 66335, 66336, 66337, 66338, 66339, 66340, 66341, 66342, 66343, 66344, 66345, 66346, 66347, 66348, 66349, 66350, 66351, 66352, 66353, 66354, 66355, 66356, 66357, 66358, 66359, 66360, 66361, 66362, 66363, 66364, 66365, 66366, 66367, 66368, 66369, 66370, 66371, 66372, 66373, 66374, 66375, 66376, 66377, 66378, 66379, 66380, 66381, 66382, 66383, 66384, 66385, 66386, 66387, 66388, 66389, 66390, 66391, 66392, 66393, 66394, 66395, 66396, 66397, 66398, 66399, 66400, 66401, 66402, 66403, 66404, 66405, 66406, 66407, 66408, 66409, 66410, 66411, 66412, 66413, 66414, 66415, 66416, 66417, 66418, 66419, 66420, 66421, 66422, 66423, 66424, 66425, 66426, 66427, 66428, 66429, 66430, 66431, 66432, 66433, 66434, 66435, 66436, 66437, 66438, 66439, 66440, 66441, 66442, 66443, 66444, 66445, 66446, 66447, 66448, 66449, 66450, 66451, 66452, 66453, 66454, 66455, 66456, 66457, 66458, 66459, 66460, 66461, 66462, 66463, 66464, 66465, 66466, 66467, 66468, 66469, 66470, 66471, 66472, 6647

17.08.060);

4. Has a slope in excess of 30 percent;
5. Has no legal access adequate for vehicular and safety equipment access and maneuverability;
6. Its development would violate health or safety standards;
7. Is inconsistent with the applicable General Plan or any applicable Specific Plan, other than minimum lot size or density standards.

Regulatory Merger Procedure. The procedures for mergers shall follow the requirements established in the Subdivision Map Act of the State of California at the time of the merger.

17.24.070 Voluntary Waiver of Subdivision Rights

Owners of lots of record, two or more times the minimum lot size for the underlying land use district, may grant a permanent easement to the City voluntarily waiving all future rights to apply for, and receive approval for, any subdivision of land to create additional building sites. Upon approval by the Department of Community Planning and Building and proper recording of easement documents with the County Recorder the incentives established in section 17.24.080 for merged lots become available to the property:

17.24.080 Voluntary Lot Mergers

The City encourages the merger of small lots into larger lots to promote diversity in design and housing size and to preserve open space. Owners of two or more contiguous lots of record, each of which would meet the standards for development as a separate building site, may apply for a voluntary merger of their lots. Upon approval of a merger by the Department of Community Planning and Building, and recording of merger documents or maps with the County recorder, the following incentives become available to the property:

A. More total floor area and cubic volume: Floor area may be increased by 3% of site area, beyond the amount specified in section 17.24.280. A commensurate amount of additional exterior cubic volume also shall be allowed, consistent with section 17.24.280.

B. Larger guesthouse or subordinate unit: Such units may be built with 100 square feet more floor area than is specified in sections 17.24.110 and 17.24.130.

C. More site coverage: 2.5% of site area in additional coverage if the requirements of 17.24.270.B(1) related to trees are satisfied.

D. One additional accessory structure: for a total of 3 accessory structures.

17.24.090 Floodplain Land.

A. Parcels shown on Plate 2 of *Floodplain Information, Carmel River, Monterey County, California*, (U.S. Army Corps of Engineers, San Francisco District, May 1967), are considered to be in a floodplain.

B. Property in the floodplain shall have no further subdivision.

C. Any new building located in a floodplain shall establish the first floor level at least one foot higher than the elevation of the standard project flood, or in the case of nonresidential structures, the elevation to which the building has been flood protected. Documentation verifying compliance shall be certified by a Civil Engineer registered in the State and shall accompany the building permit for the proposed construction. All elevations shown on the plans shall be referenced to mean sea level.

D. Within the floodplain no alterations or remodeling of preexisting buildings will be permitted of a type that could result in an increase of human occupancy.

17.24.100 Single-Family Residential Dwellings.

A. New Dwellings. All new single-family dwellings proposed for construction on vacant lots, or lots made vacant by demolition, shall require Design Study approval (see CMC 17.24.230 and Chapter 17.40).

B. Interaccessibility. With the exception of registered subordinate units and guesthouses, all portions of a single-family dwelling used or designed as habitable space are required to have full interaccessibility without passing through a garage.

C. Similar Buildings Prohibited. No single-family dwelling of substantially the same design as any existing building, or any approved building, shall be allowed on any site located on the same street between the two adjoining cross streets.

D. Stories. No building shall contain more than two stories. Basements as defined in this Chapter shall not be counted as a story.

17.24.105 Accessory Structures.

Accessory structures are detached structures such as a garage, carport, storage shed, guesthouse, workshop or gazebo. Except as provided in 17.24.080.B, no more than two accessory structures may be constructed on each building site. No accessory structure shall exceed 400 square feet in floor area except as provided below for guesthouses. Two accessory structures (such as a garage and a guesthouse) may be combined into a single structure of up to 800 square feet. All accessory structures exceeding five feet in height shall count as floor area. Storage sheds of 120 square feet or less and containing no plumbing or electrical connections shall not require a building permit.

17.24.110 Guesthouses.

One guesthouse may be authorized on sites of 6,000 square feet or greater upon approval of a Use Permit. Guesthouses shall contain no food preparation facilities of any kind. A guesthouse on any building site of 8,000 square feet or greater may be converted to a subordinate unit (see CMC 17.24.130(B)(4)). Subordinate units providing affordable housing and approved under CMC 17.24.130(B)(4) may be converted to a guesthouse upon approval of a use permit. No site shall contain both a guesthouse and a subordinate unit except as provided under hardship conditions (see CMC 17.24.130(B)(3)).

Determination of Maximum Guesthouse Size

Lot Type/Size 6,000 square feet or larger
Base Size of Guesthouse 400 square feet
Plus Increment Based on Lot Size (lot area over 6,000) x 1.5%
Equals Maximum Floor Area Allowed size

Lot Type/Size Merged lots of at least 8,000 square feet
Base Size of Guesthouse 500 square feet
Plus Increment Based on Lot Size (lot area over 6,000) x 1.5%
Equals Maximum Floor Area

Example:

Lot Type/Size 7,500 square foot lot
Base Size of Guesthouse 400 square feet
Plus Increment Based on Lot Size (1,500 square feet) x 1.5%
Equals Maximum Floor Area 422.5 sq. ft.

17.24.120 On-Site Parking Requirements.

A. One parking space for each dwelling and one space for each guesthouse are required. Required parking spaces shall be provided by a garage, carport or parking pad measuring at least 10 feet by 20 feet having practical ingress and egress for a vehicle. All required parking shall be counted as floor area.

B. Parking required for conditional uses shall be established when the use permit is issued, but shall be no less than for equivalent uses in the commercial district.

C. All required parking shall be provided on site. Each required parking space shall conform with setback standards unless an exception applies (see subsection (E), below). Driveways may encroach into setbacks.

D. On sites of less than 6,000 square feet only a single-car width garage door shall face the street. Wider garage doors on such lots may be authorized if the door is integrated into the house and adjacent wall surfaces (i.e. same materials and color) or set back at least 50% into the depth of the lot.

E. Developed building sites not meeting parking standards shall be considered nonconforming. No building permits shall be issued unless one or more of the following applies:

1. The proposed plans for construction will achieve compliance with all parking standards, or
2. The building permit is for repairs only, or is for alterations involving no expansion of floor area and the valuation of the work would not exceed 25 percent of current construction costs for replacement of the building, or
3. Dwellings originally constructed prior to 1 April 1940 without providing parking behind the front yard setback required after that date, or constructed prior to 5 June 2001 without providing parking behind the expand-

ed sideyard setback required after that date, may provide parking within these setback areas as revised on those dates if:

- a. Parking in the setback will be limited to a 200-square-foot pad or to the replacement of an existing garage or carport, and
- b. The applicant has demonstrated a need based on limited available area for a conforming space and an existing site design with constraints such as trees, poor access or building placement that would make a conforming space impractical.

This exception shall not be used to alter parking requirements for existing dwellings that comply with parking setback standards, new or replacement dwellings, or nonresidential uses.

17.24.130 Subordinate Units.

A. Purpose. To permit secondary residential units on a limited basis as a source of affordable housing while maintaining the character of the R-1 land use district.

B. Subordinate Unit Classifications.

1. Class 1 - Units Established Prior to June 5, 1929. These units were legally established and require no permit. Regular design and building codes apply.

2. Class 2 - Units Established Prior to April 5, 1988 and registered with the City by December 6, 1994. These units typically were built without City approval but were then legalized and brought to minimum health and safety standards through an amnesty period and registration. Class 2 units are subject to the General Standards and Convertibility provisions of subsections C and D, below, and to the following:

a. The property owner shall maintain either the primary or subordinate unit for his/her use as either:

(1) A primary residence; or (2) as a secondary unit that is not rented at times when the owner is not occupying the unit. Properties that did not meet this requirement at the time of registration must comply upon sale of the property.

b. Detached subordinate units on sites of less than 6,000 square feet shall not be enlarged or increased in size.

c. Demolition of more than 50% of the value of the structures on a site containing a Class 2 unit shall require termination of the use and removal of the unit.

3. Class 3 - Units Based on Hardship Conditions. These are units that did not exist before 1988 but which may be established with a use permit for a recognized hardship. A hardship is based on an infirm or handicapped person who finds it necessary to live with or near a companion under conditions where separate, self-contained facilities are important to both parties. Class 3 units are subject to the General Standards and Convertibility provisions of subsections C and D, below, and the following:

a. Documentation or evidence shall be submitted to verify that a hardship exists and that granting approval of the use permit to authorize a subordinate unit is warranted. Use permits shall be issued for a specified time period based on the anticipated length of the hardship and shall be recorded with the Monterey County Recorder's Office.

b. All use permits for Class 3 subordinate units shall expire upon termination of the specific hardship for which it was granted or upon reaching its time limit, whichever occurs first. Upon expiration of the permit, the subordinate unit shall be either removed, converted to a fully conforming guesthouse, or converted to a fully interaccessible dwelling space of the main dwelling on the site. Such removal or conversion shall occur within six months of permit expiration.

4. Class 4 - Subordinate Units Providing Affordable Housing. These are units that did not exist before 1995 and that may be established on building sites of at least 8,000 square feet to provide affordable housing. Once established they must remain as affordable units until converted to a primary dwelling space or converted to a guesthouse with a use permit per CMC 17.24.110. Class 4 units are subject to the General Standards and Convertibility provisions of subsections C and D, below, and the following provision:

a. Class 4 units must meet affordable housing standards for low-income or very-low income households as defined for the Carmel area by California Statutes. Verification as affordable housing shall be supplied in a manner approved by the City.

C. General Standards for Class 2, 3 and 4 Subordinate Units.

1. Only one subordinate unit shall be allowed on any single-family building site.

2. The subordinate unit shall comply with the definition in CMC 17.04.675 and with minimum health and safety standards in the Uniform Housing and Building Codes and the standards for efficiency units in the Uniform Building Code (UBC) as follows:

- a. The unit shall have a minimum living area of 220 square feet.
- b. The unit shall provide a kitchen sink, cooking appliance and refrigerator facilities, each having a clear working space of not less than 30 inches in front.
- c. The unit shall have sufficient light and ventilation for living and kitchen use.
- d. The unit shall provide a separate bathroom, containing a water closet, lavatory and bathtub or shower.
- e. The unit shall have electrical or gas service, water service and sewer service.
- f. The unit shall have a minimum ceiling height of seven feet six inches.
- g. The unit shall have heating facilities capable of maintaining a room temperature of 70 degrees at a point three feet above the floor.

3. Parking. Sites with Class 2 subordinate units shall provide at least one parking space at the time of approval. Upon enlargement or improvement of a Class 2 unit there shall be one parking space for each dwelling on the site. Sites with Class 3 or 4 subordinate units shall provide one parking space behind all setbacks for the unit and shall comply with all parking requirements established in 17.24.120 for other development on the site.

D. Convertibility of Class 2, 3 and 4 Subordinate Units.

1. The following requirements shall be met when subordinate units are established, built, converted, improved, or enlarged. These standards have been adopted to preserve easy conversion of subordinate units into other types of residential space and to protect the character of the R-1 district.

a. All construction shall meet the standards for residential dwellings established in this chapter.

b. No nonconformities shall be created, increased, or enlarged.

c. No permit shall be issued to improve or enlarge a subordinate unit that conflicts with subsection (B), (C), or (D).

d. No detached subordinate unit shall exceed the allowable size of a guesthouse.

e. Class 3 units and Class 4 units located on sites of less than 6,000 square feet in area shall be attached to the primary dwelling.

f. All attached Class 3 and Class 4 units shall provide for future interaccessibility, and shall be designed to facilitate conversion of the unit into living space within the primary dwelling. A plan for conversion must be submitted with the application.

g. Class 3 units and Class 4 units located on sites of 6,000 square feet or greater may be attached or detached. Detached units shall be designed for conversion to a guesthouse. A plan for conversion must be submitted with the application.

E. Unregistered Subordinate Units. Except for Class 1 units, all unregistered subordinate units shall be recognized as illegal and subject to enforcement procedures.

Article II: Design Regulations

17.24.200 Purpose.

This Article establishes design objectives, standards and processes for residential design review. The intent of these regulations is to maintain the residential village character of the City, encourage originality, flexibility and diversity in design, preserve and enhance the existing forest character, prevent unnecessary delays in the approval of designs, and equitably protect the enjoyment of all residential property.

17.24.210 Objectives.

A. Protect and Enhance the Established Urban Forest. Site improvements and the public right-of-way should be designed to preserve significant trees and to perpetuate the urban forest in each neighborhood where it exists. Each site should contribute to the urban forest or other vegetation characteristic of the neighborhood, by harboring an appropriate number and mix of trees and/or shrubs consistent with the neighborhood context and the neighborhood streetscape.

B. Neighborhood Design. Each site should contribute to elements of neighborhood character including the type of forest resources present, the character of the street, the response to local topography and the treatment of open space resources such as setbacks and landscaping. It is intended by this objective to encourage diversity in architecture while preserving the broader elements of community design that characterize the

streetscape within each neighborhood.

C. Site Design. Good site design is essential to good building design. Site improvements should be compatible with, and sensitive to, the natural features of the site and of the surrounding area. Design solutions should relate to and take advantage of site topography, vegetation and slope. Designs should recognize the limitations of the land and work with these limitations rather than ignoring them or trying to override them.

D. Mass and Bulk. Buildings should not present excess visual mass or bulk to public view or to adjoining properties. Large box-like buildings and buildings with large, continuous, unrelieved surfaces can appear massive. Breaking building and roof planes into a few, simple forms and keeping floor levels and plate heights close to grade help reduce mass and bulk. The use of natural materials such as wood or stone and the creative use of landscaping can also help to avoid excess mass by introducing texture, variety and screening.

E. Scale. Buildings should relate to a human scale in their forms, elements and in the detailing of doors, windows, roofs and walkways. Oversized elements make structures appear dominating and monumental. This out-of-scale character represents a poor fit to the human form, vitiates the more intimate, rural charm and village character of Carmel-by-the-Sea and should be avoided.

F. Boxed-in Neighbors. Designs should preserve reasonable access to light, air and open space for surrounding properties when considered cumulatively with other buildings in the neighborhood. Designs incorporating tall or bulky building elements located near an adjoining site that is already partially boxed-in by previous development should be avoided.

G. Privacy. Designs should respect the privacy of neighbors. The placement of windows, doors, balconies and decks should be sensitive to similar improvements on neighboring properties.

H. Open space. The design of structures should be coordinated with open space to enhance the park-like environment of the City. Open space should be distributed around buildings to provide visual relief from structural bulk and a distinct separation from buildings on adjacent sites. Open space is a shared community resource and some front yard open space on each site should remain visible from the street when this is consistent with the context established by neighboring sites.

I. Landscaping. Designs should coordinate structural elements with landscaping to achieve a pleasing overall site design. Landscaped open space on site can help enhance the urban forest, or other vegetation characteristic of the neighborhood, by coordinating with open space on neighboring sites and roadside vegetation. Landscaping also can aid in achieving other design objectives such as breaking up mass and bulk and protecting privacy, but such use of landscaping should not substitute for good building design.

J. Public Views. Buildings shall be located and designed to preserve significant coastal views from the public right-of-way in conformance with Section 30251 of the State Coastal Act. The protection of public views should not prevent reasonable development of the site, yet development shall not preclude reasonable protection of any significant coastal view.

K. Private Views. Designs should respect views enjoyed by neighboring parcels. It is the intent of this objective to balance the private rights to views from all parcels that will be affected by a proposed building or addition. No single parcel should enjoy a greater right than other parcels except the natural advantages of each site's topography. Buildings, which substantially eliminate an existing significant view enjoyed on another parcel, should be avoided.

L. Solar Access. Design should preserve the rights to reasonable solar access on neighboring parcels. Excessively tall buildings, particularly those near a north property line, which would block the free passage of the sun onto neighboring solar collectors or south-facing windows, should be avoided.

M. Equity. Design controls should be fair.

17.24.220 Design Guidelines.

The City Council shall establish Design Guidelines by resolution to aid in the administration, interpretation and communication of the City's design objectives. The Planning Commission, Design Review Board, and the Department of Community Planning and Building shall use these Guidelines to review proposed construction. Designs that conflict with Municipal Code standards or which fail to achieve reasonable compliance with the adopted R-1 design objectives shall not be approved.

17.24.230 Residential Design Review.

All proposed site development, exterior alterations and new construction shall require Design Review. The dimensional standards established in this Chapter (e.g. height, setbacks, coverage, floor area) represent maximum or minimum limits and will not be achievable on every site. Design Review involves discretion and judgement regarding the appropriateness of each design within the context of site constraints and neighborhood character. The Department of Community Planning and Building may approve projects that qualify for Administrative Review. The Planning Commission shall review all projects that require a land use permit, environmental review or approval under the Track-3 Design Review process (see Chapter 17.40). The Design Review Board shall review all other projects. Specific project types and locations that require Design Review Board or Planning Commission approval include:

- 17.14.220 R-1-PO Overlay District
- 17.14.430 Beach Overlay District
- 17.24.050(A.1) Lots with 30% Slope
- 17.24.100(A) New Dwellings
- 17.24.240(E) Substantial Alteration
- 17.24.300(B) Fences and Walls
- 17.08.100 Satellite Signal Antennae

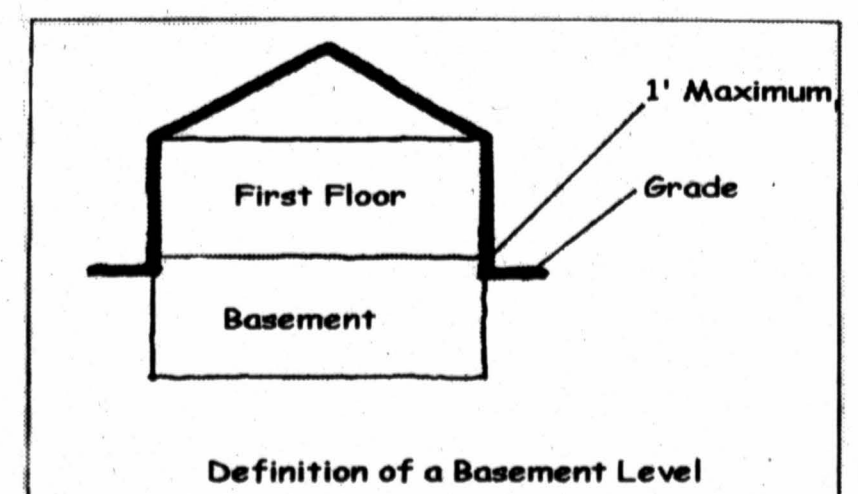
17.24.240 Definitions

A. *Average Grade*. A horizontal line approximating the ground elevation through each building on a site, used solely for calculating the exterior volume of buildings. Average grade is calculated separately for each building. Average grade is calculated in four steps:

1. Plot the ground level perimeter of the building on a topographic map of the site using 1-foot contour intervals. Assign an elevation of "zero" for the lowest contour line that passes through the building perimeter.
2. For each contour line that intersects the building perimeter, draw a straight line through the building that connects the point of intersection to where the same contour line emerges from the building perimeter (see figure-2, below).
3. For each line drawn in step #2 multiply its length by its elevation (above the "zero" contour line) and then sum all results.
4. Divide the sum from step #3 by the sum of the lengths of all lines drawn. The resulting elevation above the "zero" contour line is extended as a horizontal line through the building as average grade.

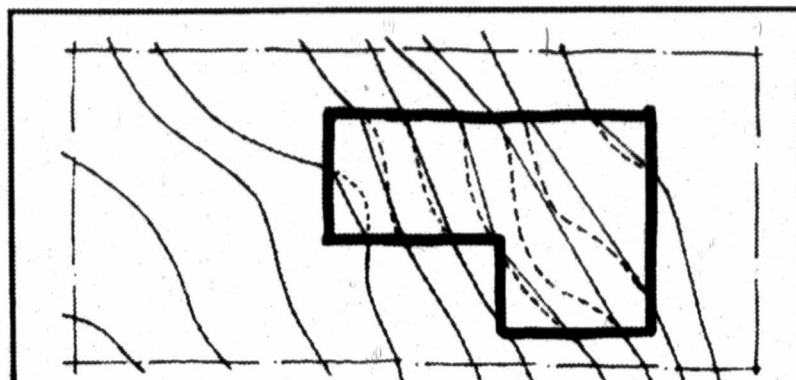
B. *Basement*. An underground room or excavated space with at least 5 feet but not more than 9 feet of interior height, finished or unfinished. The finished floor of the story above a basement shall not be more than one foot above either existing or final grade. (See Figure-1) (Note: In calculating the floor area of a basement it may be necessary to count part of a room as basement and part of a room as above-ground space.) Basement spaces may be used for any residential occupancy allowed by the uniform building codes such as bathrooms, family rooms, hobby rooms, offices, mechanical equipment, storage and, if equipped with window wells, for bedrooms.

Figure-1



C. Existing Grade. The set of elevations representing the surface of the ground prior to grading, filling or other site alterations for a project. On developed sites as each topographic line passes beneath a building it shall be assumed to be a straight and level line for purposes of defining existing grade. Existing grade may also be referred to as natural grade. (See Figure-2). On sites previously excavated to create a basement an approximation of preexisting conditions may be substituted using grades on adjacent sites, retaining walls and prior survey maps for reference as long as the resulting project complies with all Design Objectives and avoids large exposed cuts and unnatural topography.

Figure-2



Existing or natural grade is determined by topographic contours on site. Connect natural grade that intersect building walls with straight lines through the building and do not consider undulations in grade within the building footprint

D. Exterior Volume. The total space occupied by all structures located above average grade. Exterior Volume is expressed in cubic feet and is measured from the exterior wall and roof surfaces of each building. Where the average grade line lies below a building the exterior walls of the building are projected down to average grade to calculate its volume. Portions of a building located below average grade are excluded from exterior volume. Exterior Volume includes all dwellings, guesthouses, subordinate units, garages, carports, chimney structures, storage sheds, projecting windows and covered porches.

For that portion of any balcony or deck located more than 18" but less than five feet above existing or final grade, the space measured from the top of any rail or enclosing walls down to either grade shall count as exterior volume. For balconies and decks serving the second floor or located five feet or more above grade, the space measured from the floor or underside surface of the balcony or deck to the top of any rail or enclosing walls, counts as exterior volume.

Exterior Volume excludes the volumes in and under arbors, trellises or roof eaves. That portion of any deck or balcony located within 18" of existing or final grade is excluded from exterior volume. For building elements not addressed by this definition the Design Review Board or Planning Commission shall determine whether an element counts as volume based on its perceived contribution to mass and bulk as seen from any neighboring site or from the street.

E. Final Grade. The elevations representing the ground surface at all parts of a site not occupied by a building upon project completion. This grade follows the actual soil surface around the buildings including all excavations and fills. Excluded from this definition are window wells serving basement rooms, the combined area of which do not exceed 10% of the floor space in the total basement area.

F. Floor Area. The total gross square footage included within the surrounding exterior walls of all floors contained within all enclosed buildings on a building site. In above-ground spaces, floor area is measured at the exterior of the enclosing walls. In basement spaces, floor area is measured at the interior of the enclosing walls. Floor area shall include, but shall not be limited to, all floors of all enclosed spaces within all buildings, basements, mezzanines, guesthouses and studios. All required parking shall be counted as floor area, whether supplied by garage, carport or other means.

1. Base Floor Area. The calculated floor area allowed on a site prior to consideration of bonus floor area or adjustments to floor area based on site constraints.

2. Bonus Floor Area. Floor area located in a basement, in addition to the base floor area, granted to a site as an incentive to reduce above-ground mass and bulk.

G. Site coverage. The total ground area of a site occupied by materials or improvements that cover the natural soil but which are outside the perimeter of structures that count as floor area. Site coverage includes:

1. Fully permeable materials including gravel, decomposed granite, spaced decking and exterior stairs. However, shredded bark, wood chips and similar materials used as mulch within fully landscaped areas are not counted as site coverage.

2. Semi-permeable materials including sand-set bricks or pavers, garden walkways of small paving stones, and arbors.

3. Impermeable materials including asphalt, concrete, mortared brick and stone, unspaced decking and balconies at any level, garden walls, solariums, bridges, sheds not counted as floor area, ponds, hot tubs and swimming pools.

H. Story. A volume of space within a building between the upper surface of its floor and either (1) the upper surface of the floor next above, or (2) in the case of the topmost floor, the ceiling or roof above. Those portions of an under-floor space or crawl space shall be counted as a story where the finished floor above such space is more than 5 feet above the final grade around the perimeter of the building. Those portions of excavated space that qualify as a basement shall not count as a story.

I. Substantial Alteration. A change, modification or addition to a structure or site, including but not limited to, change in architectural style or details, change in materials, new additions, paving or decks that will significantly change the visual character of the structure and that either does not qualify for approval at an administrative level (17.40) or does not comply with adopted Design Objectives and Design Guidelines.

J. Window Well. A soil-retaining structure, exterior to a building, located at a window having a sill height lower than the adjacent ground elevation. Window wells providing emergency egress shall provide at least three feet of clearance from the window opening and nine square feet in area unless otherwise determined by the Building Official. The ground area of each window well shall be fully counted as site coverage.

17.24.250 Setbacks.

A. Standards. Setbacks define areas on the building site that are parallel and adjacent to the property line from which the setback is measured. The primary purpose for setbacks is for landscaping and open space. For improvements allowed in setbacks see 17.24.250.D.

Setback Standards

Type of Site*	Front	Rear**	Side	Minimum
Standard Interior Site	15 Feet	15 Feet	Composite*** (both sides)	Interior Side Facing Street
Standard Corner Site	15 Feet	15 Feet	25% of Lot Width	3 Feet 5 Feet
Resubdivided Corner Lot	10 Feet	15 Feet	25% of Lot Width	3 Feet 9 Feet
Double-Frontage Site (two fronts)	15 Feet	N/A	25% of Lot Width	3 Feet (if applicable)

** For structures less than 15 feet in height the rear setback is 3 feet.

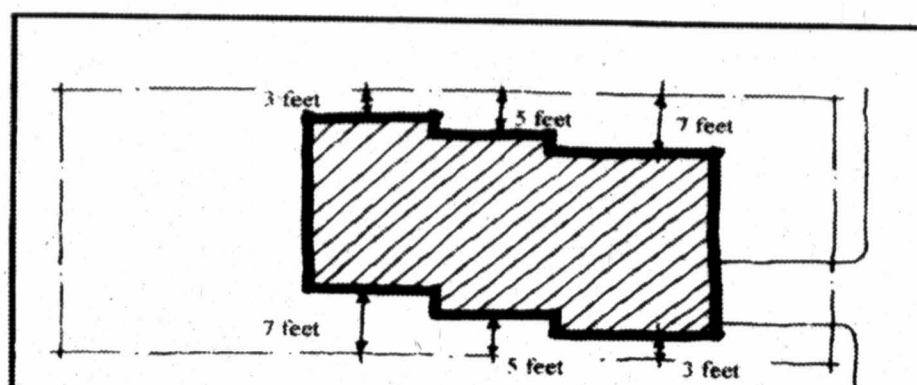
*** See 17.24.250.B for composite setback rules.

Note: Some areas may have special setbacks; see Chapters 17.14 and 17.15 for special setback provisions in Overlay Districts and Specific Plan areas.

B. The Composite Sideyard Setback. The combined width of both sideyard setbacks, measured along any line parallel to the front property line, shall be at least 25% of the width of the property. The width of a nonrectangular lot shall be the mean length of the front and rear property lines. On corner lots the front

property line shall be the shortest of the two frontages. For example, on a site with a 40-foot frontage, the combined width of both sideyard setbacks must equal 10 feet. This can be achieved by any combination of the two side yards that equal 10 feet—such as 5 feet + 5 feet, or 3 feet + 7 feet. Different combinations may be used at different places on the site to allow different building shapes.

Figure-3



Side Yard Setbacks may shift throughout the depth of the lot but shall not be less than 3 feet. A composite setback width equal to 25% of the lot width shall be maintained at all points. The example above shows a one-story building making use of a variety of setback combinations that equal 25% of a 40-foot wide lot.

C. Detached Garages and Carports. To encourage variety and diversity of design detached garages and carports may be authorized within front or rear yard setbacks under limited circumstances:

1. Front Setback. The Design Review Board or Planning Commission may authorize a single-car, detached garage or carport not exceeding 12 feet in width, 250 square feet in floor area and 15 feet in height in the front yard setback if:

- At least 50% of the adjacent right of way is landscaped or preserved in a naturalized, forested condition to compensate for the loss of open space, and
- All significant trees on site and in the adjacent right of way are protected, and
- Free and safe movement of pedestrians and vehicles in adjacent right of ways is protected, and
- All development on site will be in scale with adjacent properties and the neighborhood context. Placement of the garage or carport in the setback will add diversity to the streetscape.

2. Rear Setback. On sites of 6,000 square feet or greater detached garages may encroach into rear yard setbacks if limited to 15 feet in height, all significant trees on the site are protected and the garage would not impede views from adjoining properties.

Exceptions. The following table identifies allowed exceptions to setbacks:

Design Element	Front Setback		Rear Setback		Side Setback	
	Allowed	Limits	Allowed	Limits	Allowed	Limits
Chimneys	Yes	24"	No	N/A	No	N/A
Driveway	Yes	N/A	No	N/A	Yes	N/A
Eaves	Yes	36"	Yes	18"	Yes	18" into setback see 17.24.250.E
Entryway/Porch	No	N/A	No	N/A	Yes	Street side setback only, uncovered, 18" from street
Fences/Walls	Yes	17.24.300	Yes	17.24.300	Yes	17.24.300
Garage/Carport	Yes	17.24.250.C	Yes	17.24.250.C	No	N/A
Garage Enclosure	No	N/A	Yes	3-feet from property line	Yes	3-feet from property line
Ramps	Yes	4-feet wide	Yes	4-feet wide	Yes	4-feet wide
Masonry Stoops and Stairs	Yes	4-feet wide	No	N/A	Yes	First floor only
Walkways	No	N/A	Yes	4-feet wide	Yes	4-feet wide
Window Wells	No	N/A	Yes	17.24.250.F	Yes	17.24.250.F
Oriel Windows	No	N/A	No	N/A	No	N/A

E. Eaves. Eaves may extend 18 inches into each composite sideyard setback but shall not encroach into any minimum sideyard for more than 20 linear feet per side.

F. Window wells providing light and/or egress from basement spaces may be constructed within rear yard setbacks and side yard setbacks that are not adjacent to a street. Window wells shall not encroach within 3 feet of any property line. All window wells that encroach into setbacks shall be the minimum length, depth and width necessary for egress and/or access to light.

G. Flexibility for Historic Properties. The Design Review Board or Planning Commission may waive setback standards for remodel projects that conserve historic resources, but only to the extent necessary to maintain the design integrity of existing buildings and/or comply with the Secretary of the Interior Standards for Rehabilitation of Historic Resources.

17.24.260 Height.

A. Height Limits. The following limits shall apply to all height determinations in the R-1 land use district. Where heights between two or more of these limits occur, the more restrictive shall apply. Heights shall be measured from both existing grade and final grade. All measurements shall be plumb vertical distances from the grade to the building element being measured. (See Figure-4).

Height Standards

Building Element Number of Stories Allowed

R-1 District Two
R-1-B Two
R-1-PO One (See 17.14.230)
R-1-C-PP One

Building Element Maximum Roof Height Of First Story

R-1 District 18 Feet
R-1-B 18 Feet
R-1-PO 18 Feet
R-1-C-PP 18 Feet

Building Element Maximum Plate Height Of First Story

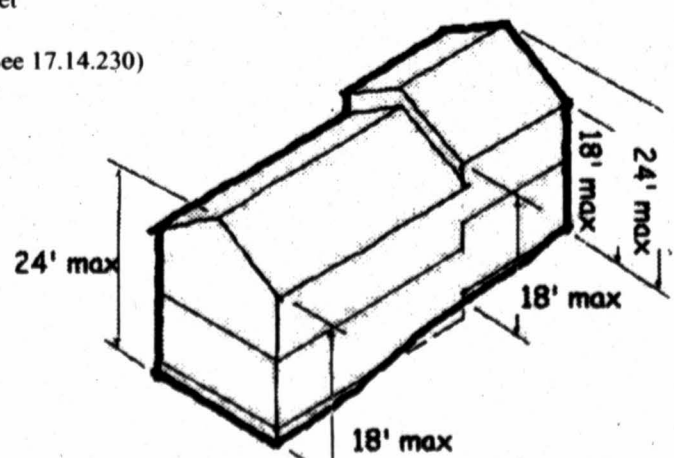
R-1 District 12 Feet
R-1-B 12 Feet
R-1-PO 12 Feet
R-1-C-PP 12 Feet

Building Element Maximum Roof Height Of Second Story

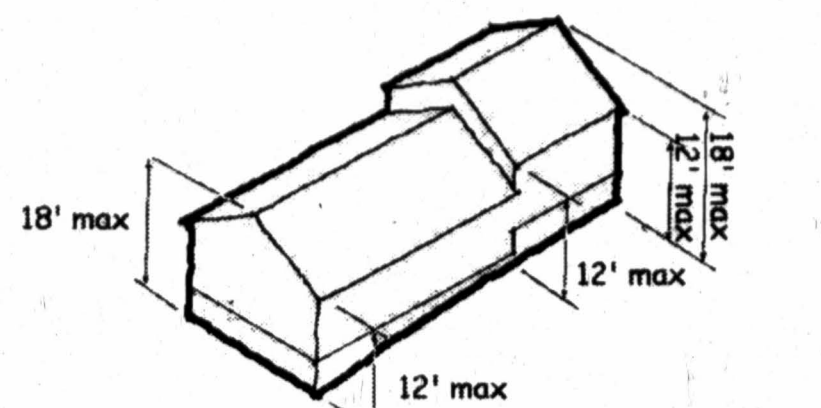
R-1 District 24 Feet
R-1-B 18 Feet
R-1-PO 24 Feet (See 17.14.230)
R-1-C-PP N/A

Building Element Maximum Plate Height Of Second Story

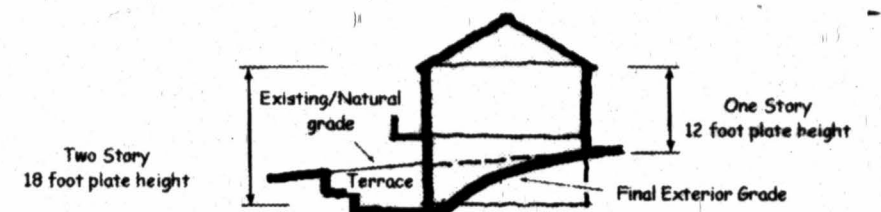
R-1 District 18 Feet
R-1-B 18 Feet
R-1-PO 18 Feet (See 17.14.230)
R-1-C-PP N/A



Two Story
18 foot plate height
24 foot maximum height



One Story
12 foot plate height
18 foot maximum height



B. Chimneys. Fireplace chimneys and vents, including caps, may be constructed 4-feet above the height of the building. Chimneys, vents or chimney enclosures which project above a roofline, flat deck or parapet wall shall:

- Not exceed 3'-4" across any horizontal dimension; double-flue chimneys shall not exceed 3'-4" by 6" in horizontal dimension. Double-flue chimneys which provide a horizontal offset, vertical stagger or saddle to visually separate each flue and reduce scale are encouraged. No chimney cap or ornament shall exceed 24-inches in any horizontal dimension.
- Not contain any storage space, access openings or other uses unrelated to the vent function of the chimney.

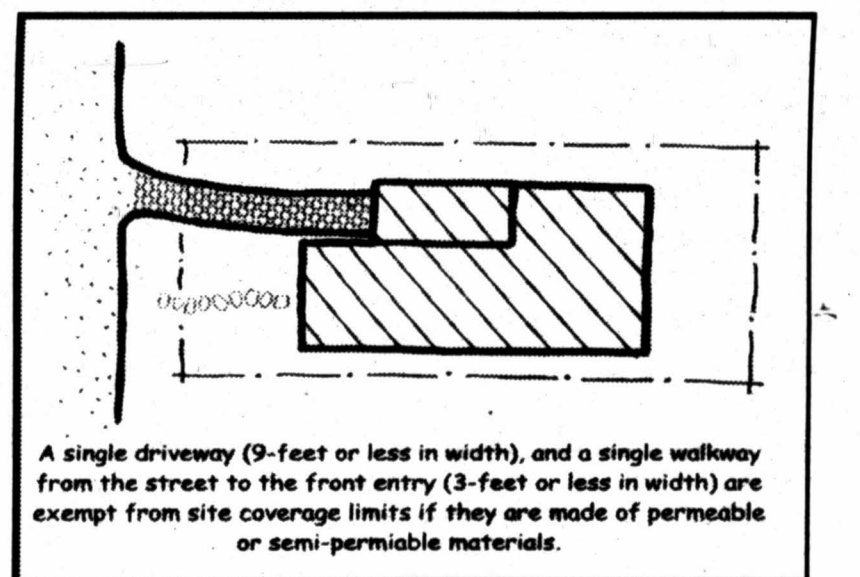
17.24.270. Site Coverage.

A. Limits. Site coverage is limited to 10% of the site area. At least 50% of all site coverage shall be permeable or semipermeable. Additional permeable coverage up to 2.5% of the site area may be approved for projects that will preserve significant trees in excess of the number recommended in the City's Tree Density Policy when:

- Total base floor area on the site is at least 5% less than the maximum allowed, or
- Parking is provided by a detached garage located in the rear half of the site, or
- The project will place a historic resource on a Local, State or National Register, or
- The site is a result of a voluntary merger (per section 17.24.080), or is controlled by a subdivision waiver easement (per section 17.24.085).

B. Exclusions:

- Oriel windows located at least 18 inches above the floor and cantilevered no more than 18 inches beyond the supporting wall shall be exempt from site coverage.
- Cantilevered balconies, overhangs, planters and eaves projecting 36 inches or less from the building wall are exempt from site coverage. When such projections are supported by posts or other structures beyond the building wall they count as site coverage.
- A single driveway up to 9 feet wide, and a single walkway up to 4 feet wide, connecting the street to the parking area and/or home entrance are exempt from site coverage limits if made of semi-permeable or fully permeable materials (see Figure-5).



4. Site coverage on those portions of a property not visually related to the buildable area of the site (e.g. the paving of private roads or the paving on the "pole" of a flag lot) are exempt from site coverage limits.

C. Nonconforming site coverage. Sites not in compliance with site coverage limits shall not be authorized to increase site coverage. Sites with excess coverage may add floor area consistent with CMC 17.24.280 only when:

- The site complies with the recommended tree density established for the R-1 District and the Director of Forest, Parks and Beach determines, based on a review of project plans and a site inspection, that all existing and proposed trees have sufficient space to protect the root zones and provide for new growth, and
- Excess site coverage will be reduced at a rate equal to two times the amount of floor area added to the site, or to an amount that complies with the site coverage limits.

D. Special Waivers. The Design Review Board or Planning Commission may waive the requirements of 17.24.270.B to protect existing site coverage that adds significantly to the character of the property. These requirements also may be waived for remodel projects that conserve historic resources, but only to the extent necessary to maintain the design integrity of existing buildings and/or comply with the Secretary of the Interior Standards for Rehabilitation of Historic Resources.

17.24.280 Floor Area Ratio and Exterior Volume.

Note: All provisions in Chapter 17.24 related to Exterior Volume (contained in sections 17.24.080, 17.24.240 and 17.24.280) will expire on 6 January 2003 unless re-adopted by ordinance of the City Council.

A. Floor Area and Volume Limits. The allowable floor area is dependent on site area, site conditions and compliance with the Design Objectives for the R-1 District. The allowed floor area is a combination of the base floor area plus bonus floor area as described below. The allowable exterior volume is dependent on the base floor area. Floor area ratios and exterior volume are used to control mass and bulk above grade.

B. Base Floor Area. On sites of 4,000 square feet or less in area and with less than a 30 percent slope, the base floor area shall not exceed 45 percent of the area of the building site. The base floor area for lots with a slope of 30 percent or greater will generally be less and shall be determined by the Planning Commission through the use permit process.

1. For sites between 4,000 square feet and 10,000 square feet, the base floor area shall be calculated as follows:

- Multiply the number of square feet over 4,000 by .00002
- Subtract the result from .45

(The table in CMC 17.24.290 lists Base floor area ratios for common

lot sizes.)

2. For sites larger than 10,000 square feet the base floor area shall be as stated in the table in CMC 17.24.290. For building sites of a size between two entries in the table the base floor area shall be prorated using a straight, arithmetic projection between entries.

3. Those portions of a property that are not counted as part of the building site or that are unbuildable (exclusive easements, private roads, the "pole" of a flag lot, etc.) shall first be deducted from the site area when calculating base floor area.

4. The calculations and tables for floor area and exterior volume represent the maximum allowable on sites without constraints such as slopes, significant trees, unusual shape or difficult access. On some lots the calculated floor area exterior volume will not be achievable and will be determined by compliance with the Design Objectives.

5. The maximum allowed floor area on any building site 22,000 square feet or larger shall not exceed 6,000 square feet.

6. On each site 200 square feet of floor area and 2200 cubic feet of exterior volume shall be reserved for each required parking space whether provided by means of a garage or carport. Exceptions or variances from on-site parking shall not authorize more floor area or exterior volume for other purposes in lieu of parking.

7. Interior stairways connecting a first story with a second story shall be counted as floor area on only one of the two floors the stair connects. For sites awarded bonus floor area in basements, the area required for a minimal stair way from the first floor to the basement shall not be counted as floor area on either floor the stair connects.

C. Allowed Exterior Volume. Exterior volume is calculated by using a volume factor multiplied by allowed base floor area. Different volume factors apply to those portions of each structure that are one story and two story. Less volume is allowed under those parts of a structure with a flat roof. Allowed exterior volume is measured from both average existing grade and from average final grade. Proposed designs must comply with volume limits from both of these average grades.

Volume Factors

Located under a pitched or sloping roof greater than 3:12 pitch
One-story elements of the building 12

Two-story elements of the building 11

Located under a flat roofed area of the building (3:12 or less pitch)
One-story elements of the building 11

Two-story elements of the building 10

D. Bonus Floor Area. To reduce building mass and bulk the City provides an incentive to use some of the base floor area and exterior volume in a basement.

1. **One-Story:** For each 1 square foot of the base floor area constructed in a basement and 12 cubic feet of allowed exterior volume not built above average grade, 1 additional square foot of bonus floor area may be constructed in a basement.

2. **Two-Story:** For each 1 square foot of the base floor area constructed in a basement and 11 cubic feet of allowed exterior volume not built above average grade, 1 additional square foot of bonus floor area may be constructed in a basement.

Example: A 4,000 square foot site with one required parking space is developed with a one-story house. The base floor area is 1,800 square feet of which 200 is reserved for parking. Multiplying 1,800 square feet of base floor area by twelve (12) yields 21,600 cubic feet of allowed exterior volume. If 300 square feet of the base floor area is constructed in a basement and exterior volume above grade is reduced to no more than 18,000 cubic feet, an additional 300 square feet of bonus floor area in the basement may be added.

3. The only limits on the amount of volume that may be built in a basement, are the defined interior ceiling height for basements and the requirement that all basement space shall be located within the perimeter established by the exterior, above-ground walls of the primary dwelling on the site. A basement shall not extend into any open space or yard area outside the building footprint without it counting as above-ground floor area.

4. On some sites, or areas within a site, excavation may be inappropriate due to tree roots or other constraints and the bonus floor area will not be achievable. Bonus floor area is not available to sites nonconforming with respect to any floor area or parking regulation. Basements shall not count as a story when interpreting height limits. For spaces constructed partially below grade, those portions of the space where the finished floor above the space is more than 5 feet higher than the final grade shall count as a story.

Example of Bonus Floor Area Calculations (4,000 Sq. Ft. Site where base floor area equals 1800 Sq. Ft.)

Floor Area Above Ground	Base Floor Area	Bonus Basement Floor Area	Maximum Exterior Volume One-Story	Maximum Exterior Volume Two-Story	Total Floor Area
1800	0	0	21,600	19,800	1800
1600	200	200	19,200	17,600	2000
1500	300	300	18,000	16,500	2100
1400	400	400	16,800	15,400	2200
1300	500	500	15,600	14,300	2300
1200	600	600	14,400	13,200	2400

Notes 1. Exterior volumes for the two story column assume both floors are of equal size. The exterior volume of a building that is partially one story and partially two story will have a value that is between the one and two story columns.

17.24.290 Table of Floor Area and Site Coverage Standards.

Maximum Allowed Floor Area and Site Coverage—all figures are in square feet

Site Area	Base Floor Area*	Maximum Bonus Floor Area	Maximum Total Floor Area	Allowed Site Coverage
4,000	1,800	600	2,400	400
5,000	2,150	717	2,867	500
6,000	2,460	820	3,280	600
7,000	2,730	910	3,640	700
8,000	2,960	987	3,947	800
9,000	3,150	1,050	4,200	900
10,000	3,300	1,100	4,400	1000
11,000	3,450	1,150	4,600	1100
12,000	3,600	1,200	4,800	1200
13,000	3,735	1,245	4,980	1300
14,000	3,870	1,290	5,160	1400
15,000	4,005	1,335	5,340	1500
16,000	4,140	1,380	5,520	1600
17,000	4,255	1,418	5,673	1700
18,000	4,370	1,457	5,827	1800
19,000	4,485	1,495	5,980	1900

* The Base Floor Area will not be achievable on sites with constraints such as slopes, significant trees, unusual shape or difficult access. See CMC 17.24.290.

* Maximum Bonus Floor Area equals the Base Floor Area divided by three (3). The Maximum Total Floor Area equals the Base floor Area plus the Bonus Floor Area.

17.24.300 Fences and Walls.

A. Definitions.

1. Fence. A protective or confining barrier made of wood or wrought iron.

2. Wall. A protective or confining barrier made of masonry (e.g. mortared granite, shale, sandstone, masonry faced with wood, or concrete block with a plaster finish).

B. Height. Fences and walls meeting the standards below may be approved

through Administrative Design Review. Approval of taller fences and walls require Approval from the Design Review Board. Height is measured vertically between all points on the fence or wall and the more restrictive of existing or final exterior grade. Fences constructed on top of a retaining wall shall be measured from the lower side of the wall unless a landscaped, horizontal offset is provided to avoid excessive mass as viewed from the lower grade.

C. Reconstruction of nonconforming fences and walls. Existing fences and walls shall conform to the standards when they are substantially reconstructed or replaced. reconstruction shall be deemed substantial when the linear distance of new construction exceeds 50 percent of the distance of existing construction. Fences along each property line shall be treated independently when interpreting this section.

Design Element	Located in Front Setback	Located in Side Setback	Located in Side Setback Facing Street	Located in Rear Setback
Fence	4 feet	6 feet	4 feet	6 feet
Wall	4 feet*	6 feet	4 feet*	6 feet
Pillars and Gates	6 feet	N/A	6 feet	N/A
Wood Arbor/Trellis	7 feet	7 feet	7 feet	7 feet

* These limits shall not be altered through Design Review by the Design Review Board or Planning Commission.

D. New fences and walls on corner lots shall be reviewed by the Building Official in consultation with the Police Department to ensure a safe line of sight for intersecting lanes of traffic.

17.24.310 Outdoor Antennae

Except as provided in CMC 17.08.100(B)(5) outdoor antennae shall conform to the following:

A. One antenna shall be allowed per building site. No part of any antenna shall exceed the height limits in the underlying land use district or overlay zone. Roof mounted antennae are prohibited except as provided in CMC 17.08.100(B)(5)(c).

B. Ground-mounted antennae and support structures shall be at least three feet from any property line. No antennae or support structure shall be located in any setback facing a street.

C. All ground-mounted antennae shall be screened by walls, color, fences or landscaping.

SECTION TWO. Design Review Processes.

17.40.010 Design Review Authority Established

A Design Review authority is established. This function is delegated to the Planning Commission, the Design Review Board and the Department of Community Planning and Building. The following Sections establish the scope and procedures for Design Review throughout the City.

17.40.020 Uniform Requirements

A. Submittal Standards. The Department of Community Planning and Building shall establish uniform submittal requirements to enable a full understanding of each project, facilitate review and provide consistency. Fees for Design Review processes shall be as established by Resolution of the City Council.

B. Coordination of Review Bodies. Any reviews by the Forest and Beach Commission and/or Historic Preservation Committee that are required for a project shall occur prior to consideration of the project by the Design Review Board or the Planning Commission.

C. Delegation of Review Authority. Those projects requiring environmental review or a land use permit (Use Permit, Variance, Lot Line Adjustment or Subdivision) shall receive design review by the Planning Commission. All other projects shall receive design review from the Design Review Board or the Department of Community Planning and Building.

17.40.030 Commercial Design Review Categories

A. Commercial District Administrative Permit. This is a staff-administered, discretionary process to review minor design changes. The Planning Director may approve the following exterior alterations in all Commercial and the R-4 Districts that comply with the Zoning Code and any applicable Commercial Design Guidelines:

1. Public Way improvements
2. Newspaper racks
3. Roofing materials and rooftop equipment
4. Signs
5. Exterior Flags

Proposed projects that do not comply with the Municipal Code or the General Plan will be denied. Projects that comply with the Code but do not comply with the Commercial Design Guidelines or other adopted criteria shall be referred to the Design Review Board for action. Decisions to approve or deny projects under

Administrative Commercial Design Review may be appealed to the Planning Commission by filing a letter of appeal with the Planning Commission Secretary within ten calendar days of the date of action.

B. Commercial Design Review. This is an open and public, discretionary process to review substantial design changes in commercial and R-4 Districts that do not qualify for a Commercial District Administrative Permit, such as:

1. Construction of new buildings.
2. Additions or exterior alterations to existing buildings.
3. New parking facilities
4. Installation of antennae
5. All projects not Categorically Exempt from CEQA

The Planning Commission shall review all projects that require a Use Permit, Variance, Subdivision or other land use permit. The Design Review Board shall review all other projects requiring Commercial Design Review.

In addition to the projects listed above, the Planning Director may refer public or private design proposals to the Planning Commission or the Design Review Board when unusual circumstances or new policy issues are raised by the project.

17.40.040 Design Review for Special District Planning Areas.

Design Review for Special Planning Areas is an open and public, discretionary review process used by the Design Review Board or Planning Commission to review all site and building design changes requiring design review as specified within Specific Plan areas, Overlay Districts and the A-2 District.

17.40.050 Residential Design Tracks

The City has adopted three different residential design review tracks to accommodate the wide variety of projects that may occur in the R-1 District.

A. Track One: Residential District Administrative Permit—This is a staff-administered, discretionary process to review minor projects in the R-1 District for compliance with adopted regulations and the Residential Design Guidelines.

1. Applicability. Projects appropriate for Track One review are limited to:

- a. Fences and Walls
- b. Changes in exterior materials of structures
- c. Changes in site coverage and/or landscaping
- d. Changes in windows, doors, chimneys and skylights
- e. Alterations and additions not increasing floor area more than 25%.

2. Limits. This administrative process is limited to those projects where:

- a. Nonconformities will not be increased.
- b. No new encroachment into setbacks is required.
- c. All trees classified by the City Forester as "significant" or "moderately significant" will be preserved without significant cuts to roots or limbs.
- d. No demolition of any dwelling is involved.
- e. The project is exempt from environmental review.

3. Procedures. The Planning Director may approve proposed projects that comply with Chapter 17.24 and the Residential Design Guidelines using the following procedures:

- a. Additions that expand the building footprint by more than 200 square feet or that require grading within six feet of any tree classified by the City Forester

as "significant" or "moderately significant" shall require a preliminary site assessment (17.40.040.C).

b. Projects requiring a preliminary site assessment shall require a 10-day public notice and comment period. A notice of the project shall be posted on site and at City Hall. Written comments received during the comment period regarding compliance with design standards and design guidelines shall be considered prior to taking final action.

c. Final staff decisions on Track One projects shall be posted at City Hall and on site for seven calendar days. Anyone aggrieved by the decision may file a written appeal for review of the project by the Planning Commission. Appeals shall be filed with the Planning Commission Secretary prior to expiration of the seven-day posting period.

d. Proposed projects that do not comply with the Zoning Code will be denied. Projects that comply with regulations but do not comply with the Design Objectives or Guidelines will be referred to the Design Review Board for resolution or shall be redirected into one of the other design review tracks.

B. Track Two: Residential Design Study. This is an open and public, discretionary review process that encourages neighborhood participation in decisions. The review of Track Two projects not requiring a land use permit is carried out by the Design Review Board. When a land use permit is required Track Two project review is carried out by the Planning Commission.

1. Applicability. Track Two is used for the review of projects involving the construction of new dwellings, substantial alterations and projects that do not qualify for Track One.

2. Procedures. Projects in Track Two require the following procedural steps:

- a. Preparation of a preliminary site assessment.
- b. Preparation of concept "stick" drawings showing building placement, building form, heights, setbacks, access, approximate placement of windows, decks and balconies, required tree removals, rough grading, site coverage and floor area.
- c. Review by the Historic Preservation Committee, if resources listed on an adopted local, state or national historic register are affected.
- d. Review by the Forest and Beach Commission, if trees are affected.
- e. Public Notice of the Design Review hearing on the project.
- f. Design Review Board or Planning Commission review of the proposed site design and basic massing for compliance with the City's Design Concept Guidelines.
- g. The applicant then completes the design and the project is reviewed by the Design Review Board or the Planning Commission for compliance with the City's Final Design Details Guidelines.

C. Track Three: Planning Commission Review of Special Exceptions. This design review track is provided to encourage originality and diversity in design and to respond to unique site conditions. This is an open and public, discretionary review process that encourages neighborhood participation in decisions regarding new construction and substantial alterations that do not comply with one or more standards or that appear to conflict significantly with the Design Guidelines.

1. Applicability. This design review track may be selected by an applicant to propose a project that does not comply with one or more of the following dimensional standards:

Height Regulations in 17.24.230
Setback Regulations in 17.24.190, 17.24.200, 17.24.210 and 17.24.220
Site Coverage Regulations in 17.24.180
Parking Regulations in 17.24.120

No other standards may be altered or waived through this process.

2. Procedures. In addition to the procedures and requirements applicable to Track Two, all projects in Track Three require the following:

- a. Distribution of a letter explaining the project, and the exception(s) being requested, to all owners and occupants of property within 100 feet of the project site at least 21 days prior to the first hearing on the project.
- b. A review and recommendation from the Forest and Beach Commission.
- c. Public Notice and a hearing at both the Concept Review and at the Final Details Review

3. Standard of Review. For Track Three the Planning Commission will review the project for conformance with the objectives adopted in the Design Guidelines and the Objectives in 17.24.210. While projects need not comply with all Design Guidelines to gain approval, applicants will be required to demonstrate that any deviations sought are consistent with the neighborhood context and all objectives. The Planning Commission may establish additional submittal requirements such as a model, a block plan or similar visual aids to enable the Commission and the public to better understand the project.

17.40.060 Preliminary Site Assessments.

For projects requiring a preliminary site assessment the applicant shall submit two copies of a topographic survey prepared by a licensed surveyor or a civil engineer prior to submittal of design plans for design review. The survey shall document property boundaries, topographic contours, the location of all trees over 2 inches DBH, the outline of all existing structures on the property, the location of any easements, existing access, the edge of pavement for all adjoining streets and all existing areas of site coverage. The survey shall be reviewed with the applicant and/or representative in the field by the City Forester and by a City Planner. Where topography, soil conditions, street configuration or other factors might require unusual drainage solutions, the City Forester or City Planner may call in the Public Works Director for additional review and advice.

A. City Forester Review. During the site visit the Forester shall review all trees on site, in the adjacent right of way, and which significantly overhang the site from adjacent properties and shall annotate the survey regarding the following:

1. The species, approximate drip line and state of health of each tree.
2. Each tree shall be classified as to its significance to the urban forest based on its species, health, size, form, character, age and location. Classifications used shall be significant, moderately significant and not significant.
3. For trees classified as significant or moderately significant the Forester also shall note important limbs that are low enough to encroach into potential building areas and areas where excavation should be avoided to protect roots.

B. City Planner Review. During the site visit the Planner shall annotate the survey regarding the following:

1. Design characteristics of the right of way including landscaping, excess paving, and access opportunities or constraints.
2. Design patterns and context of the immediate neighborhood including number of stories, exterior materials, setbacks, and open space/landscaping features.
3. Potential view and privacy issues on neighboring lots
4. The potential for using setback exceptions, garden levels, basements, and other features of the zoning ordinance
5. Unusual grade conditions or prior excavations that may require an approximation of natural grade in planning the building or calculating heights.

C. Upon completion of both site visits and transfer of annotations to both copies of the survey, one copy shall be returned to the applicant for use in designing the project. The other copy will be retained by the City for use in reviewing the project. In preparing design concept plans the information on the preliminary site assessment map should be used to avoid impacts on significant trees and minimize impacts on moderately significant trees. Design concepts should respond to site constraints and opportunities in a manner consistent with the adopted Design Guidelines.

SECTION THREE. Amendments Incorporating Environmental Mitigations.

Section 17.46.040(F) shall be amended as follows:

Continued on next page

DIEHL

From page 1A

grandparents, D.L. and Lily James, began building their house in the Carmel Highlands, below the Highlands Inn.

Diehl graduated with honors from the U.S. Merchant Marine Academy in 1979 with a third mate's license and a degree in marine transportation. She began her career as a deck officer on black-oil tankers, general cargo ships and special product carriers.

In 1983, she joined the cable ship Long Lines and began work for Transoceanic Cable Ship Company, first sailing as a master in 1989 and then as a permanent master from 1992 to 1999 aboard the cable ship Global Mariner.

Diehl's ship was responsible for supporting submarine telephone cable installation worldwide. Her crew assisted in designing and building the vessel in Singapore and installed a submarine telephone cable across the North Sea from Germany to the Fair Isle Straits north of Scotland.

That cable crossed 13 oil and gas pipelines and passed through the national waters of four nations at any given time.

Diehl retired from sailing in May 1999 with 20 years of service at sea under her belt. Since then she has been active in the Garrapata Creek Watershed Council with the hope of improving "land management attitudes and prac-

tices with a process based on local community participation."

Diehl also assists with the Carmel River Watershed Council and has consulted on marine safety matters for the Monterey Bay National Marine Sanctuary.

Potter said the board received 30 applications for the commissioner's post and narrowed the field to six candidates before

unanimously selecting Diehl.

"Martha showed up sort of late in the process and after talking with her a couple times, you know you have someone with very good personal skills," Potter said. "She is very able to work with other people, as has been shown in her career."

BRODIE

From page 8A

"Vietnam was the worst war I ever covered because it was a civilian war," Brodie said. "Anybody could be the enemy."

Brodie recently had the chance to assess the capabilities of modern troops, when he was invited to cover U.S. Army combat maneuvers in the Mojave Desert for General Gordon Sullivan.

When asked how the U.S. military had changed over the years, Brodie immediately answered, "tolerance."

"In World War II, we had segregated outfits," Brodie said. "I was one of the rare correspondents who decided to go with a black outfit. It was a powerful thing to be on the truck with them. Enemy civilians kind of smirked at us and the white (American) soldiers on the shoulders of the road looked at us and one even jeered at us."

While working for CBS Brodie covered some of the biggest

trials of the 20th Century, including Sirhan Sirhan, the Chicago Seven, Watergate, the Jim Jones cultists in Guyana and the trial of Nazi war criminal Klaus Barbie in France in 1987.

During the notorious Charles Manson trial, Manson tried to turn the tables on Brodie by drawing his own sketch of the journalist. "It was probably one of those manipulative things," said Wendy Brodie. "It was a very wild and swiggly portrait that showed quite an extreme nature."

Brodie's art bears witness to the most extraordinary and ugly moments of modern history, yet he appears untainted by the kind of pessimism one might expect from such experiences.

"I personally love the human being," Brodie said.

PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES

Continued from previous page

D. Permit the use of a parcel of land having an average slope of greater than 30% as measured from any one property line to another through the buildable area of the site to be used as a building site. The Planning Commission may authorize an increase in the maximum height of any buildings on said building site up to 10 percent above the limitations applying in the underlying land use district without a variance. All new construction, additions and exterior remodels on such building sites shall require design review as established in Chapter 17.40 CMC. Through the use permit process, the following issues shall be addressed:

1. Slope stability, both long-term and during construction
2. Site access for occupants, vehicles and emergency response services
3. Site drainage and erosion, both long-term and during construction
4. Impacts from proposed grading and construction activity on soils, vegetation and environmental resources
5. Impacts on public and private views

The following provision shall be added to Title 12 of the Municipal Code.

During the Plan Check process for building permits for new construction or substantial exterior remodeling and prior to commencement of demolition, grading or construction activity, the Public Works Director shall inspect the public way in the vicinity of the project site to document its condition. Any damage to the street, drainage or other public facilities shall be repaired by the property owner to the satisfaction of the Public Works Director prior to approval of the final inspection by the Building Official.

SECTION FOUR. AMENDMENTS TO CHAPTER 17.18

17.18.170 Findings Required for Design Study Approval:

The project conforms with all zoning standards applicable to the site, or has received appropriate use permits, variances or exceptions consistent with the zoning ordinance.

A. The project is consistent with the City's design objectives for protection and enhancement of the urban forest, open space resources and landscaping.

B. The project uses simple building forms, design and materials that are consistent with neighborhood character yet will not be viewed as repetitive or monotonous within the neighborhood context.

C. The project is in scale with its site and surrounding development and will not present excess mass or bulk to the public or to adjoining properties.

D. The project is consistent with the City's objectives for public and private views and will retain a reasonable amount of privacy and solar access for neighboring sites.

SECTION FIVE. CROSS REFERENCE REVISIONS.

The following provisions of the Municipal Code shall be deleted:

17.04.550 Remodeling or Alteration

Any provisions of the Municipal Code in conflict with the provisions of this ordinance shall be revised to achieve consistency with the provisions herein.

In the following sections change "Design Review Board" to "Design Review Board or Planning Commission": 17.12.020, 17.12.120, 17.12.170 and 17.15.320.

In the following sections change "Planning Commission" to "Design Review Board": 17.15.050, 17.15.130 and 17.15.140.

In section 17.12.160 change the reference to "17.24.030" to "17.24.020".

SECTION FOUR. Severability.

If any part of this Ordinance, even as small as a word or phrase, is found to be unenforceable such findings shall not affect the enforceability of any other part hereof.

SECTION FIVE. Effective Date.

This Ordinance shall become effective thirty (30) days after its final passage and adoption. All decisions on applications filed after the effective date shall be consistent with this Ordinance. Projects filed prior to the effective date may be processed and approved under pre-existing ordinances or under this ordinance, at the applicant's choice. All provisions in this ordinance related to Exterior Volume shall expire on 6 January 2003 unless readopted by an ordinance of the City Council.

PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CARMEL-BY-THE-SEA this fifth day of June, 2001 by the following roll call vote:

AYES: COUNCIL MEMBERS: Ely, Livingston and McCloud
NOES: COUNCIL MEMBERS: Hazdovac and Rose
ABSENT: COUNCIL MEMBERS: None

SIGNED
Sue McCloud, Mayor

ATTEST:
Karen Crouch, City Clerk

Pine Cone

831.624.0162

Classifieds

FOR DISCRIMINATING READERS

Animal Care

HELP! MY CANINE BUDDIES
AUGIE & PICON Need temporary homes during my move to Monterey Peninsula. Please call 655-9604. Leave message for Jack. 7/6

Caregiver Services

WHY PAY AGENCY \$\$? Caregiver companion. Cook, shop, appointments, etc. Excellent references. 831-394-2344 7/6

Garage Sale

HUGE ESTATE GARAGE SALE
Furniture, clothing, furnishings.
Sat. June 16th
8 a.m. - 1 p.m.
corner of
Monte Verde & 3rd, Carmel

Help Wanted

TEACHERS AID WANTED for clay modeling projects. For information call 662-8760 6/15

ATTENTION: GROWING COMPANY NEEDS HELP! work from home. \$500/mo PT-\$4,500/mo FT. Full training -Free information. www.444freedom.com (888) 658-5330 6/22

LOOKING FOR EXPERIENCED SALES PERSON, part time with art or interior design background. Sat, Sun. and Mon. Call 624-7311, 10 a.m.-12 noon. No calls after 12 noon, please. 6/15

TURNKEY HOME BASED BUSINESS! International company experiencing explosive growth. Free information. (866) 812-5473. www.homebizopp-4u.com 6/29

Instruction

JAPANESE SWORD CLASSES...FITNESS & WELLNESS FROM THE INSIDE OUT
Shihan James Campbell, accepting students in these ancient & graceful arts. These arts have been directly passed to him by Kenshinai Machita, direct descendant of Japan's first Shogun. For personal and detailed attention enrollment limited to 4 per class. Call 375-7551. Also, meditation and Jujutsu classes.

Misc. for Sale

AMWAY PRODUCTS. Wholesale or retail. Leave message. (831) 648-3616 6/29

Moving Sale
FINAL DAYS!! Couch and loveseat, women's clothing, S-M-L, plus much more. 625-9803 6/29

Photography
STAT CAMERA
RPS 2024 Compact.
For more information call
The Carmel Pine Cone at
(831) 624-0162
No reasonable offer will be turned down.

Art & Antiques

NEW SHIPMENT - SIGNATURE PIECES. Shown by appointment only. 643-2480 6/29

Automobiles

MERCEDES 99' CL600 coupe white/black. Stunting/mint, every option, full factory extended warranty. \$74,000. 415-435-2646. 6/15

Don't forget to check out The Carmel Pine Cone website
www.carmelpinecone.com

Caretakers Wanted

Mid-age currently semi employed couple to live in Pebble Beach Caretaker's cottage in exchange for part time housekeeping and gardening services. Experience essential. Reply to: P.O. Box G-1, Carmel, CA 92921

Gardening

FOREVER GREEN
Complete lawn & garden care, yard clean ups & weeding, irrigation system, repair and installation. Tree trimming, general maintenance hauling. Free estimates and good references. Senior discounts. Lic. #18851. **CALL FERNANDO 831-751-3780**
PAGER 831-203-0072

Landscape

MONTEREY GARDENING & LANDSCAPE
Complete landscape design, installation & maintenance. Lawn installation, seed, sod, sprinkler & drip system. Commercial & residential. Lic.#784986. Free estimates. **831-643-7797**

Lost and Found

BIRD FOUND. Conure, on Carmel Valley Road. Found June 7. 883-4827 6/15

Misc. for Sale

TREADMILLS AND MORE! Health club quality. Dept. store \$. Visit: http://quickly.to/fitness 6/15

House/Pet Services

MATURE CARMEL WOMAN will pet/house sit while you're on vacation. Local references upon request. 626-3252. 6/15

HOUSESITTER JOB DESIRED. Housekeeping, gardening and pet, no problem. Local references. Call Chris at 372-1741 6/22

Services

RECLAIM THE VALUE of your view! Call **ROYALTY WINDOW CLEANING** in Carmel for a free estimate. (831) 626-4367. TF

Reaching Your Full Potential

REACH YOUR FULL POTENTIAL Multibillion \$ Japanese Co. in US wants leaders looking for 6 figure annual incomes plus. Call 24 hr. recording toll free **888-616-4376**

Hiring Director of Physical Therapy

in Salinas. 65/70 k, benefits + bonuses. Also looking for Personnel for Front Office. Call 714-282-6592 or fax resume: 800-924-7223

Looking for the perfect SINK WITH CABINETS

for your photography studio? For more information call **The Carmel Pine Cone at** (831) 624-0162. Come take a look at this great deal for \$200 o.b.o.

Be the FIRST THREE CALLERS to place a Pine Cone classified ad at 3 O'CLOCK MONDAY AND YOU GET YOUR AD FREE!*

Call 624-0162 at 3pm Monday
Ask for Alex or Irma and say:
"Am I one of the 3 at 3 for FREE?"

*Good for a 1col. x 2" classified ad, one week.
Must call in at 3pm, no sooner!
Synchronize your watches!

O P I N I O N

Editorial

Who pays and who decides

"Democracy is the worst form of Government except all those other forms that have been tried from time to time."

—Winston Churchill (1947)

THE EMINENT British statesman and journalist was referring to the victorious powers in WWII when he made the brilliantly succinct statement quoted above. He said it at a time when the U.S.S.R. was in its ascendancy and millions of people around the world, including millions right here in the United States, believed that communism was a more equitable way to run a country. In other words, when Churchill said that democracy was best, lots of people disagreed with him.

Nowadays, democratic capitalism has triumphed as the unquestioned method of government for any society that wants to achieve the greatest good for the greatest number of people. Our country's fantastic prosperity, and the similar prosperity of a dozen democracies around the globe, is proof that Churchill was more correct than even he knew.

Nevertheless, decisions made by the democratic process often leave people frustrated and angry, and many questions remain unanswered about how a democracy should function.

For example, in the United States it is considered corruption for an individual who pays a great deal of taxes to seek more influence over how that money is spent than a citizen who pays none. "One man, one vote," regardless of wealth, is a principle our country has embraced since the 1800s. Furthermore, you're only supposed to vote where you live — not where you've invested your money.

Nevertheless, groups of people often seek government policies that promote their interests. It has never been considered unacceptable for doctors, teachers, lawyers, athletes or members of any other group to ask elected officials to protect them regardless of what the majority may want.

That scenario is happening right now in Carmel, as a \$100,000 appropriation is being sought again this year by the Carmel Business Association to promote Carmel-by-the-Sea as a midweek tourist destination.

Many Carmel residents would rather see more raccoons in town than more tourists. Most business owners do not live in town. However, businesses generate most of the city's taxes and it is thanks largely to them that city residents enjoy the benefits of lavish services beyond what most cities can afford.

The city council has every right to question the effectiveness of the \$100,000 allocation to the CBA. But the businesses have every right to ask that some of their money be spent on them.

BATES



LETTER TO THE EDITOR

Comments misquoted

Dear Editor:

The comment attributed to me in the June 8, 2001, Pine Cone did not resemble my remarks during the most recent City Council meeting.

During comments on the Residential Design Standards ordinance I stated that volume was not the most important factor in evaluating bulk and mass of a proposed development. My concern is the change that allows a developer to build a larger house than permitted by zoning regulations if the Planning Commission likes the design. This change allows greater height and site coverage than currently exists in the neighborhoods, as well as reduced setbacks and waivers of parking regulations. A good design should receive a building permit and not result in an oversized structure.

During the budget hearing, a contingent of CBA members spent some 40 minutes lobbying the Council for the funding of their marketing contract (\$100,000). They were led by CBA president Larry Hoover, who claimed that the marketing campaign had increased revenues and cited statistics that supposedly proved it. I pointed out that contrary to what he had just told the Council, Hoover had stated in a memo to the business community that the TOT revenue during the past year was flat, occupancy was down and

the sales tax base was down. That memo was intended to justify formation of a Business Improvement District that would be asked to contribute an additional \$182,000 to the Monterey County Convention and Visitor's Bureau. I doubt that Carmel business owners are that gullible. I hope the City Council is not either.

Until The Pine Cone starts providing more accurate and balanced coverage of the city council meetings, concerned citizens should attend the meetings or, at least, view the reruns on Sunday morning television.

It will be an eye opener.

James R. Wright, Carmel-by-the-Sea

Editor's Note: In last week's Pine Cone, a quote was incorrectly attributed to Jim Wright. The statement, regarding concerns that the new design standard called "volumetrics" could cause many Carmel homes to become legal, non-conforming structures and therefore affect their value or their ability to get future financing, was voiced by the speaker immediately following Wright, a man who did not identify himself at the podium. Wright's concern about the ordinance, which was not included in the story, was the section which allows flexibility for homes exhibiting good design. "I think you're asking for problems because everybody's going to be arguing that they have a good design and they ought to be able to build a bigger house," Wright said.

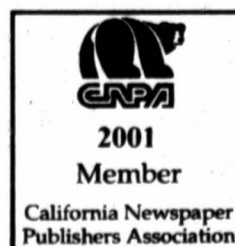
■ **Publishers** Paul Miller, Kirstie Wilde
 ■ **Advertising Director** Tim Cadigan
 ■ **Production Manager** Jackie Martinez
 ■ **Arts & Layout Editor** Anne Papineau
 ■ **Associate Arts Editor** Margot Petit Nichols
 ■ **Reporters** Tamara Grippi,
 Mary Brownfield, Rose Evers
 ■ **Advertising Sales** Barbara Gianotti, Jung Yi,
 Joann Kiehn
 ■ **Independent Advertising Sales** Don Schoen
 ■ **Advertising Design** Laura Hamilton, Sharron Smith
 ■ **Accounts Receivable, Subscriptions** Alex Diaz
 ■ **Receptionist, Classifieds** Irma Garcia
 ■ **Website Manager** Casey Miller
 ■ **Circulation** Oscar Garcia
 Central Coast Delivery 596-5917, Fax 392-1459

The Carmel Pine Cone

www.carmelpinecone.com

PUBLISHED EVERY
FRIDAY

Vol. 87 No. 25
June 15, 2001



©Copyright 2001 by Carmel Communications, Inc.
A California Corporation

The Carmel Pine Cone
was established in 1915 and is a legal newspaper for the City of Carmel-by-the-Sea, the County of Monterey and the State of California, established by Superior Court Decree No. 34750.

Offices on Fourth Ave. between Mission & San Carlos in downtown Carmel-by-the-Sea
 Mail: P.O. Box G-1, Carmel, California 93921
 Email: mail@carmelpinecone.com
 Telephone: (831) 624-0162
 Newsroom Fax: (831) 624-8076
 Advertising Fax: (831) 624-8463

A CNPA Award-Winning Newspaper
 1997 — General Excellence
 1998 — Public Service
 1998 — Environmental Reporting
 1999 — Advertising Design
 1999 — Investigative Reporting

BEAR

From page 1A

by burning sage, Kline said, and she and three others representing the Ohlone, the Ahmah Mutsun and the Esselen stood around the grave in the positions of north, south, east and west to offer prayers and songs honoring the bear.

"There were many native people who came from afar to take place in the ceremony of the bear — one from as far as British Columbia and one from the Mono Lake area — and all partook in the ceremony," she said, adding that fish and game wardens, the property owners and a handful of others also came.

"All the people had wonderful revelations on why the bear had come and what may come from this sad occurrence," she said.

Offerings of berries, salmon, honey, abalone shells, tobacco and sage were made to the bear, which was then shrouded in material, according to Kline. She also read a poem written by Carmelite Nancy Doolittle the day the bear died.

"And then all the participants offered the earth to the bear by burying it, and I offered a prayer at that time that this would be a healing for the bear clan — a time of healing and peace that all would stay together as one," she said. "We then formed a circle around a drum, blessed it with tobacco and stage and sang four ceremonial songs offered to the great spirit to send the bear home."

Although all involved decided to keep the time and location of the ceremony a secret until after it was completed, Kline said she is glad to say the sad tale of the fallen bear has come to an end.

"We are now able to let the people know there's been a kind of closure," she said.

Text of Permit for Ceremonial Burial of the Carmel Bear

Issued by California Department of Fish and Game
June 9, 2001

To whom it may concern:

In accordance with provisions of Section 1007 of the California Fish and Game Code, permission is hereby granted to:

Mary Ann Kline, representing the following:
Coastanoan band of Carmel Mission Indians (petition 110)
Indian Canyon band of Coastanoan Mutsun Indians (petition 112)
Ahmah Band of Ohlone Coastanoan Indians (petition 120)
Esselen Tribe of Monterey County (petition 131)
Coastanoan Rumsen Council (tribe 143)
Coastanoan/Ohlone Rumsen-Ritocsi (petition 147)
Rudy Rosales, representing the following:
Ohlone/Coastanoan Tribe of Monterey County (petition 132)
(All the above hereinafter referred to as the "Tribe")

to possess for ceremonial and burial purposes one black bear carcass. The Tribe may possess the bear carcass only under the following conditions and requirements:

1. The privileges conferred by this letter apply only to one black bear carcass that accidentally sustained fatal injuries from a fall during the Department of Fish and Game's efforts to tranquilize and remove the bear from the City of Carmel on May 23, 2001.

2. The Tribe shall notify the Department of Fish and Game of the time and location of the ceremonial worship and the burial of the carcass. The location site for burial shall meet with the Department's approval. The burial shall

take place within 30 days of the date of this letter.

3. The carcass will be buried in the same condition as it is received from the Department and no parts will be removed from this carcass.

4. Prior to burial of the carcass, the Tribe shall provide access to the burial sites, exhibit the specimen and/or this permit to any persons authorized to enforce fish and game laws.

6. Nothing in this letter authorizes the Tribe to violate any federal or state law or regulation or local ordinance.

The privileges conferred by this letter shall expire at the time the burial is completed or 30 days from the date of this letter, whichever ever comes first. Prior to its expiration, carcass may be returned by the Tribe to the Department of Fish and Game in the condition in which it was received. Upon a finding by the Department of Fish and Game that the carcass has been used or maintained contrary to the conditions specified herein - the Department of Fish and Game may revoke the privileges conferred by this letter and immediately seize the carcass.

Rob Floerke

Regional Manager

Central Coast Region

cc: As designated by RM

Scotch House

Sweaters from Scotland™

The Store for Quality
Sweaters and Stoles

Remember Dad

Ocean Avenue • Carmel • 624-0595

Quality Clothing for Career, Golf & Travel

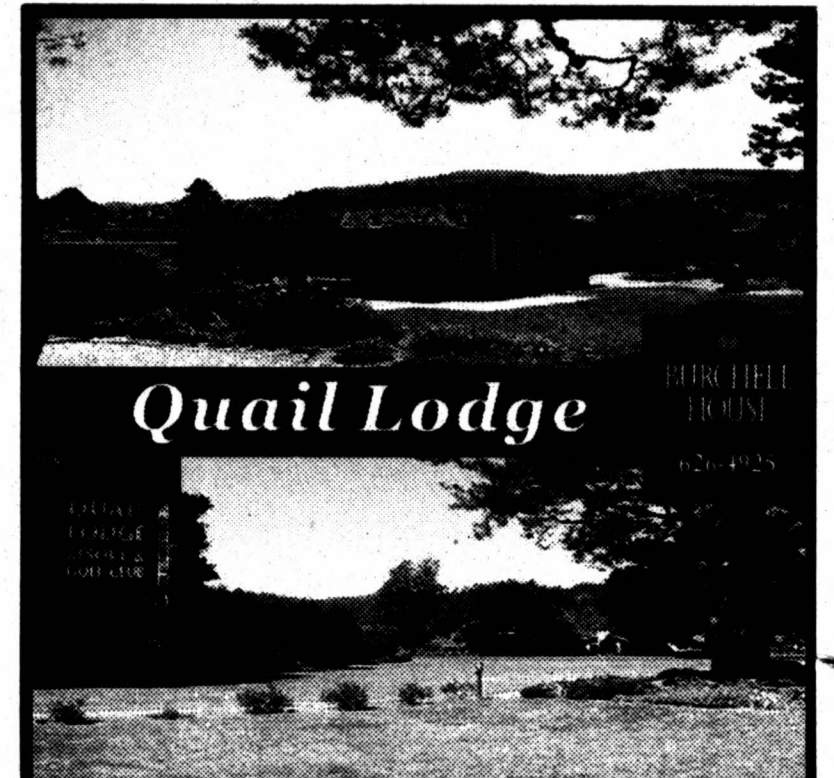
Featuring...

Bleyle, Leon Levin, Lily's of Beverly Hills,
Foxcroft & David Brooks
Misses & Petites

Town or Travel

Designer Fashions

W/San Carlos near 7th
Carmel-by-the-Sea (831) 626-0276



Quail Lodge

Bob Wolovsky Proudly Presents:
3 Bedrooms, 2 Baths, Great Fairway Views

Quail Lodge's famed golf course location!
Verging on the 7th Fairway with fabulous - yet
private views. Move into this special home
with a flexible floor plan and 2 car garage.

Priced at only: \$980,000

www.bobwolovsky.com

Private: 831.626.5043

PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES PUBLIC NOTICES

SUMMONS CASE NUMBER: C00-04517 NOTICE TO DEFENDANT: CLAUDIA POLLOCK and DOES 1 through 10, YOU ARE BEING SUED BY PLAINTIFF:

ELINOR BARNETT,
Trustee of the Helen Thill Trust
You have 30 CALENDAR DAYS after
this summons is served on you to file a
typewritten response at this court.

A letter or phone call will not protect
you; your typewritten response must be
in proper legal form if you want the court
to hear your case.

If you do not file your response on
time, you may lose the case, and your
wages, money, and property may be
taken without further warning from the
court.

There are other legal requirements.
You may want to call an attorney right
away. If you do not know an attorney,
you may call an attorney referral service
or a legal aid office (listed in the phone
book).

The name and address of the court is:
SUPERIOR COURT OF CALIFORNIA
725 Court Street
Martinez, California 94553

The name, address and telephone
number of the plaintiff's attorney, or plaintiff
without an attorney, is:
Joshua G. Genser - #111526
Attorney at Law
(510) 237-6916
3150 Hilltop Mall Road
Richmond, CA 94806

Date: Nov. 2, 2000
(s) Clerk, P. Mondloch, Deputy
Publication Dates: May 25, June 1, 8,
15, 2001. (PC 518)

FICTITIOUS BUSINESS NAME STATEMENT File No. 20010956. The following person(s) is(are) doing business as **UDS**, 736 Northridge Center Mall, Salinas, CA 93901. HAT WORLD, INC., (MN), 8142 Woodland Drive, Indianapolis, Indiana 46204. This business is conducted by a corporation. Registrant commenced to transact business under the fictitious business name or names listed above on June 1, 2001. (s) Ken Koche, CEO, Hat World, Inc. This statement was filed with the County Clerk of Monterey County on May 17, 2001. Publication Dates: May 25, June 1, 8, 15, 2001. (PC 519)

FICTITIOUS BUSINESS NAME STATEMENT File No. 20010848. The following person(s) is(are) doing business as **PILATES FITNESS CARMEL**, 214 Mayfair Ct., Crossroads, Carmel, CA 93923. CHERYL L. NEILOND, San

Antonio & 7th, Carmel, Carmel, CA
93921. This business is conducted by an
individual. Registrant commenced to
transact business under the fictitious business
name or names listed above on
April 30, 2001. (s) Cheryl Neilond. This
statement was filed with the County Clerk
of Monterey County on May 1, 2001.
Publication dates: June 8, 15, 22, 29,
2001. (PC 604)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011023. The
following person(s) is(are) doing business
as **PENINSULA TRUCKING**,
767 Andalusia Drive, Soledad, CA
93960. MARIE ELIZABETH RUELAS, 767
Andalusia Drive, Soledad, CA 93960.
This business is conducted by an individual.
Registrant commenced to transact business
under the fictitious business name or names
listed above on May 25, 2001. (s) Marie Elizabeth Ruelas.
This statement was filed with the County Clerk
of Monterey County on May 25, 2001.
Publication dates: June 8, 15, 22, 29,
2001. (PC 605)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011060. The
following person(s) is(are) doing business
as **VISTA SUN TECHNOLOGY**,
HELPDESK MONTEREY, 499 Calle
Principal, Suite K, Monterey, CA 93940.
SCOTT A. DICK, 630 Country Club Dr.,
Carmel Valley, CA 93924. This business
is conducted by an individual. Registrant
commenced to transact business under
the fictitious business name or names listed
above on June 1, 2001. (s) Scott A.
Dick. This statement was filed with the
County Clerk of Monterey County on
May 31, 2001. Publication dates: June
8, 15, 22, 29, 2001. (PC 606)

CYPRESS FIRE PROTECTION DISTRICT NOTICE OF PUBLIC MEETING PRELIMINARY BUDGET FISCAL YEAR 2001/2002

NOTICE IS HEREBY GIVEN
that on June 28, 2001 at 2:30 P.M.
the Cypress Fire Protection District
Board of Directors will meet at the
District's fire station located at 3775
Rio Road, Carmel, to consider adoption
of the Preliminary Budget for
Fiscal Year ending June 30, 2002.

NOTICE IS FURTHER GIVEN
that the Preliminary Budget is avail-

able for inspection at the District's fire
station located at 3775 Rio Road,
Carmel, between the hours of 8:00
a.m. to 5:00 p.m. after June 30,
2001.

The Cypress Fire Protection
District, Board of Directors will meet
on Thursday, September 27, 2001 at
2:30 p.m. at the District's fire station
to adopt the Final Budget for Fiscal
Year ending on June 30, 2002.

DATED: June 4, 2001
(s) Gayle Sheppard,
Secretary of the Board
Publication dates: June 15, 22,
2001. (PC 607)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011066. The
following person(s) is(are) doing business
as **WILLOW LANE GARDEN
DESIGN**, 471 Wave Street, Monterey,
CA 93940. JANNI ELIZABETH LIT-
TEPAGE, 24325 San Pedro Lane,
Carmel, CA 93923. This business is con-
ducted by an individual. Registrant com-
menced to transact business under the
fictitious business name or names listed
above on Jan. 1, 2001. (s) Janni E.
Littpage. This statement was filed with
the County Clerk of Monterey County on
June 1, 2001. Publication dates: June 8,
15, 22, 29, 2001. (PC 608)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20010952. The
following person(s) is(are) doing business
as **OCEAN WAVE BUILDERS**,
4000 Rio Road #60, Carmel, CA
93923. KENT JOSEPH CIUCCI, 4000
Rio Road #60, Carmel, CA 93923. This
business is conducted by an individual.
Registrant commenced to transact business
under the fictitious business name or
names listed above on May 17, 2001. (s)
Kent J. Ciucci. This statement was filed
with the County Clerk of Monterey
County on May 16, 2001. Publication
dates: June 8, 15, 22, 29, 2001.
(PC 609)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011082. The
following person(s) is(are) doing business
as **HEAVEN CHILDREN'S
WEAR**, Lincoln St. south of Ocean Ave.,
Carmel-by-the-Sea, CA 93921.
MONIQUE CLAIRE SANCHEZ, 1330
Skyline Drive #30, Monterey, CA 93940.
This business is conducted by an individual.
Registrant commenced to transact
business under the fictitious business

name or names listed above on July, 1,
2001. (s) Monique C. Sanchez. This
statement was filed with the County Clerk
of Monterey County on June 5, 2001.
Publication dates: June 8, 15, 22, 29,
2001. (PC 611)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011072. The
following person(s) is(are) doing business
as **TOP COAT NAILS**, 7th &
Lincoln, Carmel, CA 93921. DAWN
AVERY WEBER, 3288 Serra St., Carmel,
CA 93923. This business is conducted by
an individual. Registrant commenced to
transact business under the fictitious business
name or names listed above on
June 1, 2001. (s) Dawn Weber. This
statement was filed with the County Clerk
of Monterey County on June 4, 2001.
Publication dates: June 8, 15, 22, 29,
2001. (PC 612)

SUPERIOR COURT OF CALIFORNIA COUNTY OF MONTEREY

ORDER TO SHOW CAUSE FOR CHANGE OF NAME

Case No. M54015.
TO ALL INTERESTED PERSONS:
petitioner, RAYMOND LOUIS WILSON,
filed a petition with this court for a
decree changing names from
RAYMOND LOUIS WILSON to RAY-
MOND LOUIS LEBEDEFF.
THE COURT ORDERS that all per-
sons interested in this matter shall appear
before this court at the hearing indicated
below to show cause, if any, why the
petition for change of name should not
be granted.

NOTICE OF HEARING: July 20,
2001, at 9:00 a.m. The address of the
court is 1200 Agujito Road, Monterey,
CA 93940.

A copy of this Order to Show Cause
shall be published at least once each
week for four successive weeks prior to
the date set for hearing on the petition in
the following newspaper of general cir-
culation, printed in this county: The
Carmel Pine Cone, Carmel.

(s) Robert O'Farrell
Judge of the Superior Court
Date filed: June 6, 2001.

Publication dates: June 15, 22, 29,
July 6, 2001. (PC 618).

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011088. The
following person(s) is(are) doing busi-

ness as **WIPC-CA**, 2730 Gateway
Oaks Drive #100, Sacramento, CA
95833. WIPC SUMMERFIELD, LLC,
DELAWARE, 1950 Stemmons Frwy
#6001, Dallas, TX 75207. This business
is conducted by a LAN LLC. Registrant
commenced to transact business under
the fictitious business name or names listed
above on filing. (s) Mark M.
Chloupek, V. Pres., WIPC SUMMER-
FIELD, LLC. This statement was filed with
the County Clerk of Monterey County on
June 6, 2001. Publication dates: June
15, 22, 29, July 6, 2001. (PC 613)

PUBLIC NOTICE

NOTICE IS HEREBY GIVEN
that the Planning Commission of
the City of Carmel-by-the-Sea will
conduct a public hearing in the
City Hall Council Chambers,
located on the east side of Monte
Verde Street between Ocean and
Seventh Avenues, on Wednesday,
June 27, 2001. The public hearing
will be opened at 4:30 P.M. or as
soon thereafter as possible.

IF YOU CHALLENGE THE
NATURE OF THE PROPOSED
ACTION IN COURT, YOU MAY BE
LIMITED TO RAISING ONLY THOSE
ISSUES YOU OR SOMEONE ELSE
RAISED AT THE PUBLIC HEARING
DESCRIBED IN THIS NOTICE, OR IN
WRITTEN CORRESPONDENCE
DELIVERED TO THE PLANNING
COMMISSION OR THE CITY COUN-
CIL, AT, OR PRIOR TO THE PUBLIC
HEARING.

1. DS 01-20, UP 01-16
Hans Lehmann
E/S San Carlos btwn Vista & 1st
Block 7 1/2, Lot(s) 12 & pt. 10
Consideration of Design Study
and Use Permit applications for the
construction of a guest house locat-
ed within the R-1 District.

**Planning Commission
City of Carmel-by-the-Sea**
(s) Anne Morris
Secretary of said Commission
Publication dates: June 15, 2001.
(PC 614).

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20010939. The
following person(s) is(are) doing business
as **THE FORGE IN THE FOREST**,
S.W. Corner of 5th & Junipero/P.O. Box
6088, Carmel, CA 93921-6088. THE
FRIENDS OF THE FORGE, INC., A
CALIFORNIA CORPORATION, S.W.
Corner of 5th & Junipero/P.O. Box
6088, Carmel, CA 93921-6088. This
business is conducted by a corporation.
Registrant commenced to transact business
under the fictitious business name or
names listed above on April 27, 2001.
(s) Scott A. Hanifan, President, The
Friends of the Forge, Inc. This statement
was filed with the County Clerk of
Monterey County on May 15, 2001.
Publication dates: June 15, 22, 29, July
6, 2001. (PC 615)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20011010. The
following person(s) is(are) doing business
as **BRITTEN-BRODSLEY APTS.**,
15453 Via La Gitana, Carmel Valley, CA
93924. WILLIAM BRODSLEY, 15453 Via
La Gitana, Carmel Valley, CA 93924.
THERESA BRITTEN BRODSLEY, 15453
Via La Gitana, Carmel Valley, CA
93924. This business is conducted by a
husband and wife. Registrant com-
menced to transact business under the
fictitious business name or names listed
above on Jan. 1, 2001. (s) Theresa
Britten Brodsley, William Brodsley. This
statement was filed with the County Clerk
of Monterey County on May 24, 2001.
Publication dates: June 15, 22, 29, July
6, 2001. (PC 616)

**FICTITIOUS BUSINESS NAME
STATEMENT** File No. 20010940. The
following person(s) is(are) doing business
as **RIISING STAR EQUESTRIAN
CENTER**, 550 Agujito, Carmel, CA
93923. JAMIE ECCHER, 27135
Meadows Rd., Carmel, CA 93923. N.
LYNN MEADOWS-ECCHER, 27135
Meadows Rd., Carmel, CA 93923. This
business is conducted by a general part-
nership. Registrant commenced to trans-
act business under the fictitious business
name or names listed above on Aug. 15,
2000. (s) Jamie Eccher. This statement
was filed with the County Clerk of
Monterey County on May 15, 2001.
Publication dates: June 15, 22, 29, July
6, 2001. (PC 617)

**Don't forget to check out the
Pine Cone's Website!**
www.carmelpinecone.com

the best in men's clothing

new arrivals

**sport coats
sweaters
jackets
shorts
shirts
chinos
ties**

IN THE BARNYARD SHOPPING VILLAGE
625-8106 • 1-800-664-8106

J. LAWRENCE
KHAKS
MEN'S CLOTHIER OF CARMEL

Exit Hwy 1 at Carmel Valley Rd
Carmel Rancho Blvd; Right on Rancho Lane
www.khakisofcarmel.com • FAX 831-625-6518 • "Employment Opportunities," ask for Jim or Connie

NOTICE TO PROPERTY OWNERS IN UNINCORPORATED MONTEREY COUNTY

Monterey County is currently preparing an update to its General Plan. This includes an update of the 1982 General Plan document as well as the existing Area Plans, Master Plans and Local Coastal Plans that apply to individual planning areas. The General Plan is the comprehensive guide for the physical development of the unincorporated areas of the county over the next 20 years.

As part of the General Plan Update process, the county will be screening individual property owner requests for changes to the land use designation that apply to their property. All requests will be reviewed by the Land Use Advisory Committees, Planning Commission and county staff, then on to the Board of Supervisors for a determination of their consistency with the overall vision and growth policies of the new General Plan. Those requests that are found to be consistent will be considered in the draft update of the General Plan, which will be the subject of Planning Commission and Board of Supervisors public hearings later this year.

Any property owner wishing to propose a change to the Monterey County General Plan, including the Area Plans, Master Plans and Local Coastal Plans, may do so by submitting a letter with all of the following information:

- 1) Name and address of property owner
- 2) Narrative description of the proposed project or change, including acreage, number of units, etc.
- 3) Proposed General Plan land use designation and zoning district as well as proposed density/intensity of development
- 4) Map showing the boundary of the area affected by the request
- 5) Listing of all assessor parcel numbers of the area affected by the request

Send letters to Ann Anderson, Monterey County General Plan Update Team, P.O. Box 180, Salinas, CA 93902 or fax to (831) 796-3062. In order to be considered as part of the current General Plan Update, letters must be received by 5:00 p.m., August 1, 2001. Please note that if you do not submit your request by this deadline or if your request is incomplete, you may be precluded from submitting a General Plan amendment request for a lengthy period of time. As a part of the General Plan Update process, the Board of Supervisors will be determining whether to set a time interval for consideration of General Plan amendments (e.g. once a year, once every two years, once every five years, etc.).

For more information, please call Ann Anderson at (831) 755-5353

Sandy Claws

NIGHTSTORM & DUFFY

Brooke, nattily attired in natural-shoulder outfits, are brothers in the same household. Nightstorm (aka Night), a handsome Doberman, and Duffy, a winsome Pembroke Welsh Corgi, are both 3 years of age and are keeping their dewclaws crossed, hoping they will soon be able to move to Carmel permanently.

As it is, ever since they were pups of 4 months old, they have been coming for a five-day stay here about every six weeks or so — all the way from Shingle Springs, close to Placerville, both of which are sadly devoid of the Pacific Ocean.

Night's Mom Nora is lining up employment here, and when this is a *fait accompli*, the whole Brooke family will become Carmelites, including Nora's daughter Alexa, mother of Duffy.

Being a Corgi, Duffy likes to herd brother Night, with a certain manic insistence. When mellow Night wears of being rounded up by his tiny brother's incessant growlings and nudgings, he calmly wades out into the ocean, armpit high, where shorty Duffy cannot follow.

When they go for walks in Shingle Springs, Night, straining at his 27-foot lead, wants to cover as much distance as his long legs will allow. Little Duffy,



STORY & PHOTO/MARGOT PETIT NICHOLS

while putting five times as much effort into the outing as Night, is left far behind, panting and puffing.

After the two-mile hike, they return home for a nap, Duffy to snooze in exhaustion on Mom Alexa's bed, Night to slumber dreamily on his very own couch in Mom Nora's room.

We hope to see the Brooke Brothers and their moms on Carmel Beach on a daily basis soon.

\$ TAX-FREE INCOME \$ California Municipal Bonds

For **FREE** information on current bond offerings, send this coupon to:

Laurence A. Krueger

Wulff, Hansen & Co. Investment Bankers ESTABLISHED 1931
201 Sansome Street, 4th Floor, San Francisco, CA 94104
Or contact me Toll-Free: **877-543-6864**

Please send me **FREE** information on California Municipal Bonds!

NAME _____ STREET _____
CITY _____ PHONE _____

Member NASD-SIPC

BLUE TONES
JAMES BROWN
THEODIS EALEY
CLARENCE CARTER
W.C. CLARK
SHEKEMIA COPELAND
ETTA JAMES
LITTLE RICHARD
MAGIC SLIM & THE TEARDROPS
HIGHTY CLOUDS OF JOY
SAI WHATT
SONNY RHODES
BOBBY RUSH
BEVERLY WATSON
BOBBY WEBB
ALBERTA ADAMS
ALYON
BAY AREA BLUES SOCIETY
BIG MO
BLOWN SHOE
BROADWAY BLUES BAND
CHRIS CARI
COMMUNITY CHOR
CONSONANCE
JOHNIE COZIER
CRUSH DRUMS
DA MUDCATS
DELGADO BROTHERS
DOMINGO & FRIENDS
YVE ENNIS
GUSTAR MAC
TERRY HEATY & LORI HOFER
AL JAMES
JESSE JAMES
JIMMY C STREET & THE BLUES REVERE
FRANKIE LEE
LITTLE CHARLIE & THE NIGHTCATS
LYDIA PENSE & COLD BLOOD
JIMMY MCLEOD
BOBBY FURRAY
HIGHTY PENGUINS
NATURAL FOUR
VAL O'HAN
LARA PRICE
KERRY BLUE RAY
RED ARCHBOLD
PATTY TAYLOR
STONE STONE & THE METEOROLERS
THE MURKIN BAND
LYON
BRENDA WHITE
KORLA WYOM



16th Annual
Monterey Bay Blues Festival
Millennium 2001



FORTICKET INFORMATION CONTACT
• Monterey Bay Blues Festival Office • P.O. Box 1400, Seaside, CA 93955-1400
(831) 394-2652 or mbbf@montereyblues.com

BOX OFFICE HOURS
• Tuesday, June 19 through Thursday, June 21 - 10 am to 7 pm
• Friday, June 22, Saturday, June 23 and Sunday, June 24 - 9 am to 9 pm

GROUNDSTICKET PRICES
• \$60 - Three day package through tickets.com or at the Box Office
• \$20 - Friday at Box Office starting June 19th
• \$25 - per day, Saturday and Sunday at Box Office starting June 19th
With ID for active military and seniors 65 and over:
• Saturday and Sunday \$20 per day

**3-Day
Grounds
Package
\$60**

• Monterey Fairgrounds •
June 22, 23, 24

The Carmel Pine Cone

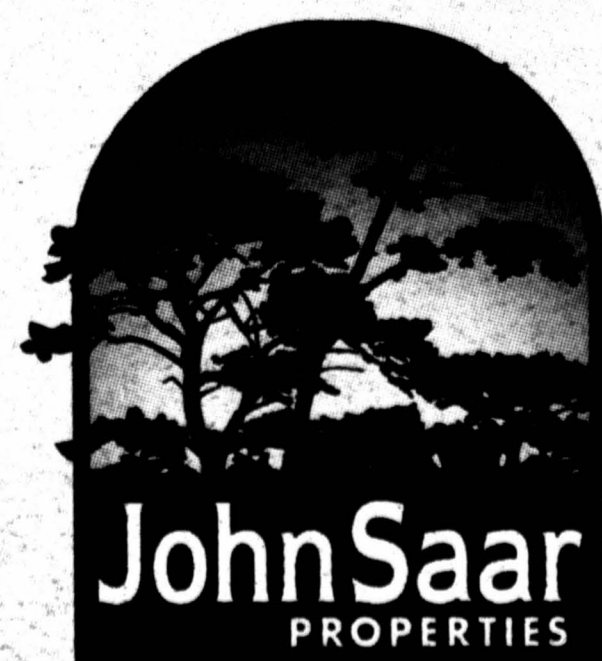
SECTION B ■ June 15 - 21, 2001

In Your Dreams

A Celebration of
the Carmel Lifestyle
SPECIAL EDITION
INSIDE

Real Estate
Honnie & Garden

This week's cover home
presented by John Saar
& Hillary Lipman
of John Saar Properties
- See page 2

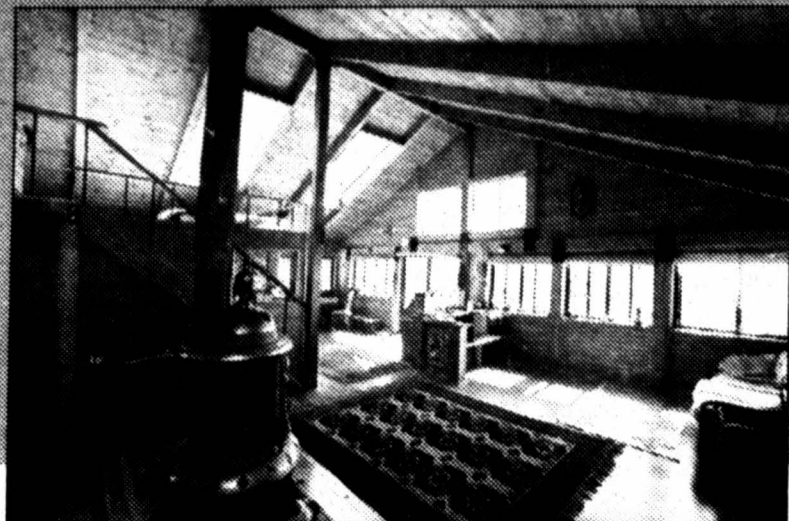


About the Cover

The Carmel Pine Cone

Real Estate

June 15 - 21, 2001



The Mansfield Redwood Preserve PACIFIC VALLEY - BIG SUR

The Pacific Valley of the Big Sur coast between Carmel and Cambria is a world apart. The land and sea meet in a wild and spectacular embrace. The preserve is a completely private kingdom of eighty acres of virgin redwoods, waterfalls and sunny ridges. In this pristine habitat are four totally separate cabins, each offering unique ocean views and the quiet solitude of the forest, providing the feeling of four distinct properties. Just a short distance from Sand Dollar Beach and Jade Cove, this rare, private landholding is surrounded and protected by the Los Padres National Forest... just as the ocean is forever preserved by the Marine Sanctuary. It is a retreat from the cares of the world. With the zoning it could easily be a world class bed and breakfast inn. A rare opportunity to find perfect balance in an almost mythical land.

\$3,600,000



John Saar Properties
(831) 622-7227 • (831) 625-0500

www.johnsaarproperties.com

REAL ESTATE

Home sales the week of May 20-26, 2001

CARMEL

6 Geary Cir \$298,000

Gabrielle E Est Hensley to Donald & Kerry O'Hara Harvey

1183 Cobblestone St \$317,500

Creekbridge Homes LP to Steve H Vu

Monterey St \$650,000

Margery Wood to Stephan & Myra Gassman

27 Cheswick Cir \$340,000

Raul R & Sandra Lopez to Fidel F & Irma Garcia

CARMEL - SOUTH COAST

None

CARMEL VALLEY

18477 Meadow Ridge Rd \$787,500

David R & Alissa E Gattis to Brian K & Judy M Landschoot

1307 Appalachian St \$306,000

Robert & Alicia Marquez Padilla to Jorge & Brooke Suarez
14 S Acacia Cir \$340,000

William Cordes to Joseph A & Alicia N Gauthier

Harris Valley Rd \$225,000

American Buddhist Meditation to Richard & Brenda Pierce

9551 Viva Lane \$245,000

South County Housing Corp to Jose F & Angelina Reyes

13230 Louise St \$282,000

Vicente R & Leticia Rodriguez to Jerald L & Barbara J Pemberton

PEBBLE BEACH

367 Chaparral St \$277,000

Guadalupe A & Margaret Villalobos to Ivan A Jimenez



DESIGN • BUILDERS
MACOMBER ESTATES • PEBBLE BEACH



A private gated community of 20 magnificent sites located within The Del Monte Forest, of which only 2 lots remain — priced from \$2.95M to \$3.25M. For a color brochure or more information on our available properties and Concept Designs, please call... (All lots have available water)

J. LOHR PROPERTIES, INC.

3255 MACOMBER DR., PEBBLE BEACH, CA 93953
HWY. ONE GATE LEFT TO 17-MILE DR. AT DEL CIERVO
(831) 626-1077 FAX (831) 626-1079

www.mehomes@aol.com

JERRY J. LOHR
President

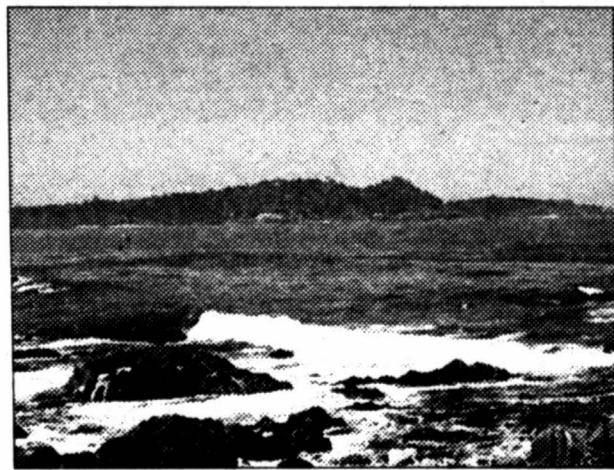
CHARLES ALEXANDER
Vice President/Project Manager

JUANITA PRESTON
Assistant Vice President

The team at Macomber Estates looks forward to solving your design problems and easing your transition into the only subdivision in Pebble Beach with a gated entry. Macomber Estates is a united effort by Jerome J. Lohr, as Project Leader, working with you to either custom design a new home on the remaining lots or fine tuning existing plans to fit your requirements. Charles Alexander coordinates and oversees the implementation of these plans into the completed residence. Juanita Preston aids Jerry and Charles in smoothing the coordinates from concept plans to completion. Designing or building a home has never been easier.

*Best buying opportunity we have seen in years.
Excellent selections, flexible sellers and low interest rates!*

CARMEL



IF YOU HAVE wondered how this street got its name just come to this beautiful home at this incredible location. Found at the tip of the famous Carmel Point, this four bedroom, four bath well cared for residence boast unobstructed views of Monastery Beach, Point Lobos, and Carmel Point. This wonderful approximately 2400 sq. ft. home has open beamed living room, gourmet kitchen, cozy family room, sunny stone patio and a large garage all on a south facing oversized lot. \$769,000.



SITUATED IN CARMEL A QUIET NEIGHBORHOOD minutes from downtown Carmel is this newly built Nantucket-style home. Custom features include warm plaster walls, rich white oak flooring, open beamed hand-hewn ceilings and pine doors. There are three bedrooms, two baths, a spacious living room and three fireplaces! With this home you can have it all — top-of-the-line modern amenities, serenity, and even peeks of the ocean. This charming cottage truly defines Carmel living! \$1,695,000.

MONTEREY

WHENEVER POSSIBLE surround yourself with the finer things in life such as the wonderful features in this newly remodeled 4 bedroom, 3 bath 3000+ sq. ft. residence in Monterey's most sought after neighborhood. This Alta Mesa masterpiece in a park-like setting will impress the most discriminating buyer with its vaulted ceilings, a family/great room with Tahema stone fireplace and bamboo wood floors. Throughout the home are found the finest in fixtures, lighting and a great sense of peace, security and style. In short "the finer things in life!" \$2,350,000



PEBBLE BEACH

THIS EUROPEAN-STYLE ESTATE home is richly adorned with high-coved ceilings, expansive rooms, forest and ocean views, large sunny tiled patios and manicured English gardens. Amenities include a grand new living room, an oversized wood-paneled office, gourmet kitchen and a large formal dining room. This stately residence is located on a large estate size 1.58 acre lot just uphill from the Lodge and the Pebble Beach Golf Links! \$4,995,000.



CARMEL VALLEY



SUN AND TRANQUILITY. Enjoy the warmth and peacefulness of this Carmel Valley 3 bedroom, 2 1/2 bath home! This well cared for ten-year-old residence is perfectly sited on the north side of the valley just above the fabulous Carmel Valley Village. This 2.5 acre, 2400 sq. ft. home comes with an open beamed living room and formal entry with slate flooring and large dining room, and a spacious family room. Fantastic views to Garland Ranch and the Santa Lucia Mountains are seen from the master suite and guest bedrooms. There is a wonderful sun deck surrounding the home naturally screened by oak trees affording privacy for sunning and soaking in the hot tub. \$769,000.



Tim Allen & Greg Linder

Tim Allen — Top Agent in Coldwell Banker's Number 1 Office in the Nation
CHOOSING YOUR AGENT IS YOUR MOST IMPORTANT DECISION

Tim Allen (831) 622-4622 • Greg Linder (831) 622-4624

www.TimAllenRealEstate.com



REAL ESTATE

MONTEREY COUNTY IS COASTAL COMMISSION'S TOP PRIORITY

By PAUL MILLER

HEEDING THE advice of Monterey County Supervisor Dave Potter and ignoring the counsel of its staff, the California Coastal Commission decided at its meeting last month that Monterey County should be the number one priority in the State of California for review and update of its Local Coastal Program.

"When you look where and when to invest money for the highest yield, Monterey County should be at the top of the list," Potter told the commission.

An LCP is an agreement between the coastal commission and a coastal county or city about changes to local land use laws to protect oceanside areas from overdevelopment. Certification of an LCP is important to property owners because without it they must get all development projects okayed by the coastal commission itself. After an LCP is finished, permits can be issued by a board of supervisors or a city council.

For that very reason, the coastal commission often becomes dissatisfied with an LCP within a few years after they've certified it. But because nearly all its staff resources are devoted to handling permits for jurisdictions — like Carmel — that have never finished their LCPs, the commission hasn't had time to study revisions to existing LCPs.

"Fifty coastal programs are overdue for review," staffer

Tami Grove told coastal commissioners. "In 25 years we've only completed one LCP update."

"Periodic review of LCPs is one of our most significant concerns," executive director Peter Douglas added. He recommended that San Mateo County, where some "major subdivisions have been proposed," be chosen as the top priority for an LCP update.

But Potter, noting that Monterey County is in the middle of a General Plan update, said this was a perfect time for an update of the county's Local Coastal Program as well.

Sierra Club attorney Mark Massara endorsed Potter's recommendation and thanked Monterey County for volunteering to have its LCPs scrutinized by the commission.

Commissioner Mike Reilly, noting the huge backlog of LCP updates around the state, urged Douglas to focus on major development issues. "Otherwise, we'll get through the list of updates in about 85 years. There's no need to reinvent the wheel," Reilly said.

Douglas agreed, and promised that staff would focus on "key issues of con-

cern, rather than every item."

The commission is also pushing a bill in the California Legislature that would give it the power to make LCP changes without the consent of local agencies.

A summary of LCPs presented to the commission showed that separate LCPs for North Monterey County, the communities around Carmel, Del Monte Forest and Big Sur were all certified in 1988.

The City of Marina's LCP was finished in 1982; Sand City completed its LCP in 1984.

The following cities have never finished their LCPs: Seaside, Pacific Grove, Carmel and Monterey.



"VACATION RENTAL" 2 BD/1 BA. Charming classic Carmel Comstock cottage located at Dolores & 11th. Fully furnished. Close to town and beach. Call for rates, or for other vacation rentals.

Carmel Rentals

VACATION RENTALS
LONG-TERM RENTALS

Jerry Warner • (831) 625-5217

Golden Pacific R.E. 26362 Carmel Rancho • Carmel

Magical "Trophy" Property in
Big Sur

Desirable large old family compound on Post (Ranch) Hill in Coastlands...

Once in a lifetime opportunity!!...to acquire the historic "Voss House" built in the 1930s by renowned California architect William Wurster. 4+ bedrooms, 3.5 baths, wood floors, high ceilings, rock fireplace, indoor spa...Separate A-frame chalet, plus artist/meditation studio and 2-car garage... Situated on a glorious 4.5 acre ocean view hilltop of private forest, meandering pathways, rock walls & stairways, wild roses and fruit trees...2 lots...fenced and gated for total privacy! Picnic in your own redwood grove...play "camping" among the towering pines... Walk out through the back gate to Post Ranch for dinner...Peace & serenity forever...\$4.5 Million — by owner. (Broker Cooperation)

This truly one-of-a-kind property awaits you.

e-mail: imagine@redshift.com (831) 659-1530 or (831) 419-4446

SUPER JUMBO LOANS - ZERO POINTS



6³/₄% 30 year — NO POINT LOAN!
(fixed for 3 years)

7% 30 year — NO POINT LOAN!
(fixed for 5 years)

Exclusive Loans For Exclusive Homes

Call GAIL PARTIN for details today!
(877) 242-5626

C♦M♦G
Mortgage, Inc.

"We are your direct lender broker with over 1.7 billion closed in 2000."

CMG is licensed with CA Dept. of Real Estate (916) 227-0931. Broker licenses ID#00995376. Points paid by lender rebate. Rates and terms subject to change. Other conditions may apply. APR of 7.10% and 7.29% respectively.

Magical Carmel Retreat

You will be amazed as you enter through the gate and over the tranquil pond fed by waterfalls into this captivating home in the treetops overlooking Pescadero Canyon and Pebble Beach. Home features 4 bedrooms, 3 full baths and abundant space for relaxing and entertaining.

Offered at \$2,450,000.



Carmel Highlands Building Site

"On a clear day, you can see forever." This 85 acre parcel is at the top of Corona Road in the Carmel Highlands. Water and utilities available to build your dream home. Views are really unbelievable — Point Lobos, Carmel Bay, Monterey Bay up close, and as far away as Santa Cruz.

Offered at \$1,700,000.



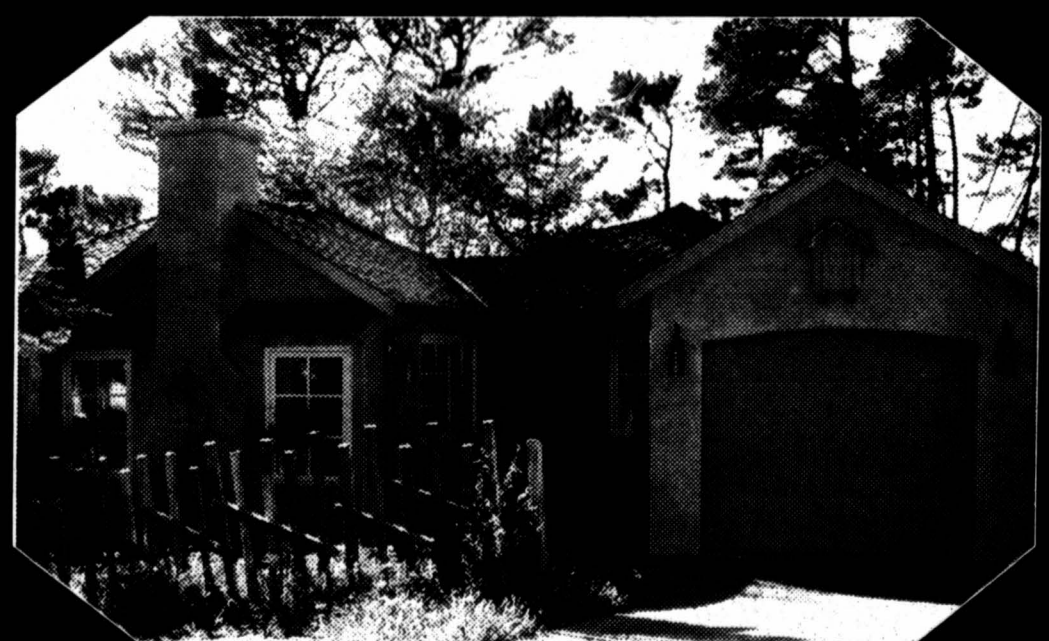
MID COAST INVESTMENTS

BILL PROBASCO - Broker

(831) 626-0145 • (831) 624-3675

www.midcoast1.com

Brand New Construction ~ In Carmel-by-the-Sea ~



This newly-constructed 2,150 sq. ft. residence reflects a masterful blend of Carmel charm with English Country sensibility. Hand-hewn wood beam ceilings soar over the sun-streaked three bedroom, two bath interior, with its three fireplaces, numerous window seats, glorious hardwood & travertine floors, formal dining room and top-of-the-line gourmet kitchen. Simply exquisite!

~ Offered at \$2,169,000 ~

Judith Profeta



POLICE LOG

From page 4A

Carmel-by-the-Sea: Report of construction work on Sunday at Santa Rita near 6th. Resident said she had attached her trailer to her truck which was what reporting party possibly heard.

Carmel-by-the-Sea: Man reported he was denied visitation with his son despite visitation agreement. He said he is being refused visitation because he is behind in child support. Woman said man spends very little time with his son. Advised to contact her attorney regarding visitation and child support.

Carmel Valley: Unknown persons stole a victim's wallet from her purse after she left it in the dining room of a retirement community on Carmel Valley Road.

Carmel Valley: Vandalism reported to office building on Del Fina Place.

Pebble Beach: An unruly person reported at restaurant on 17 Mile Drive. Manager contacted and everything was fine.

Carmel Valley: Resident reported that a Pilot Road winery

was keeping its music on all night long and requested that they turn it off at night.

MONDAY, JUNE 4

Carmel-by-the-Sea: Male possibly having a heart attack on Dolores. Transported to CHOMP for further diagnosis.

Carmel-by-the-Sea: Report of an overdue relative on Dolores. Prior to officer's arrival, report determined to be unfounded.

Carmel-by-the-Sea: Report of a vehicle fire at Carpenter and Highway 1. It was just overheated.

Carmel-by-the-Sea: Report of a male driving a Mercedes possibly DUI on Lincoln near 7th. Unable to locate.

Carmel-by-the-Sea: Report of unauthorized person using hot tub at home on Carmel Way. Owner would like subject arrested for trespass if he is located.

Carmel-by-the-Sea: Meeting with a homeowner on Junipero to discuss home security.

Carmel-by-the-Sea: Alarm at home on San Antonio near 9th. Caused by pressure washing of exterior.

Pebble Beach: Unknown persons have made annoying

phone calls to Sand Dunes Rd. residence during the night.

Carmel Valley: A juvenile pushed one of his fellow classmates up against the wall of one of the classrooms at Carmel Middle School hurting his head. Cited into juvenile probation.

Carmel area: Man reported that unknown suspects took a business case from the roof of his car while it was parked at a shopping center. The case contained numerous compact discs valued at about one thousand twenty five dollars.

Carmel area: Woman on Tierra Grande reported problems with her son.

Big Sur: Sycamore Canyon resident reported finding doors open on his property and believes someone has been trespassing and looking into structures on his property.

Big Sur: A Pacific Grove man cut his foot on broken glass at the Big Sur River gorge in Pfeiffer State Park. He was carried out by California State Parks, Big Sur Fire, U.S. Forest Service. Monterey County Sheriff's Office and American Medical Response.

Big Sur: A soldier from the Presidio of Monterey reported that two men from his platoon went camping at Sykes Camp for the weekend and failed to return. The two later came out of the forest reporting that they suffered food poisoning while camping.

Big Sur: Woman reported that her children saw a man jump off Bixby Bridge. Mid-Coast Fire, California Department of Forestry, U.S. Forest Service, California Highway Patrol, Monterey County Sheriff, CHP helicopter and sheriff's rescue responded and found the victim deceased.

TUESDAY, JUNE 5

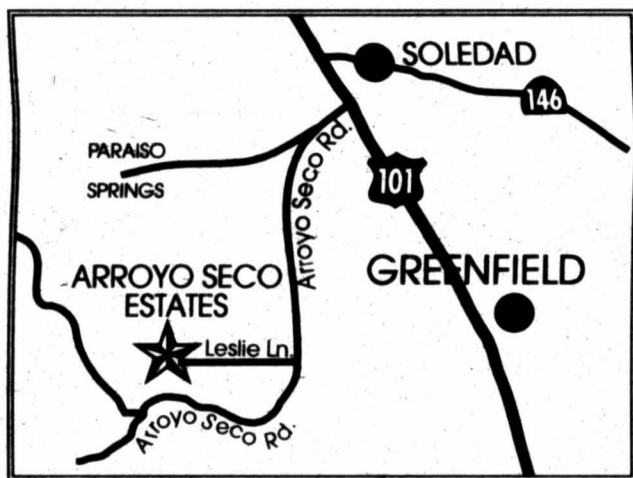
Carmel-by-the-Sea: Check made on residence on Torres. TV was on inside; responsible advised she had left it on when she left. House secure.

See POLICE LOG page 11B

GREAT ESTATE LOCATION!



Arroyo Seco
Estates



(Please call for driving directions)

- FOUR STUNNING FLOORPLAN DESIGNS RANGING FROM 2,914 TO 4,300 SQUARE FEET
- AVERAGE LOT SIZE OF 2 1/2 - 6 ACRES UP TO 6 BEDROOMS & 3 1/2 BATHS
- GOURMET KITCHENS AND MANY OTHER FINE ARCHITECTURAL ELEMENTS PRICED FROM THE LOW \$700,000's.

* Ask about our Agent Referral Fee.

(866) 224-2355



CREEK BRIDGE
HOMES

Open Daily
10am - 5pm

Prices, terms and availability subject to change.

See our Homes at www.creekbridgehomes.com

Major Price Reduction!

Open Sat & Sun 1-4

Pebble Beach



3046 Lopez Rd.

Beautifully remodeled 3 bedroom, 2 bath single level with flowing floorplan, 9 foot ceilings, crown molding, Italian tile, new 1000 sq. ft. deck, French doors and MUCH, MUCH MORE! \$899,000

Carver Realty

Carmel-by-the-Sea • 831-624-8181

Caring Is Our Powerful Advantage



BACK ROW FROM LEFT: Cathy Bonanno, Melanie Frame, Anita Jones, Patricia Poile, Campbell Cowan, Vivian Brito, Lal Sutton.
FRONT ROW FROM LEFT: Linda Harvey, Irene Jones, Jane Paradise, Fran Lucido, Christine Chin, Enza Romano.

We've Assembled an "A Team"
Dedicated to the Real Estate Industry

THE ONLY TITLE COMPANY IN CARMEL-BY-THE-SEA!

Call or Visit our team of experts today.



First American Title Company
NE Corner of Dolores & Eighth, Carmel • Parking Available 625-6775

BURCHELL HOUSE

Marina



3 BR/2 BA home in a quiet neighborhood w/ great yards!

\$425,000

Carmel Valley - Peaceful and Serene... 3 BR/3 BA immaculate home w/ fabulous views... **\$1,195,000**

Carmel - Golfer's Retreat... 3 BR/2 BA home on the fairway with fabulous yet private views... **\$980,000**

Carmel - Great Opportunity... 3 BR/1 BA home with an easy walk to town or the beach! **\$599,000**

Carmel - Classic Carmel... 2 BR/ 2 BA home with vaulted ceilings & hardwood floors... **\$649,000**

Pebble Beach - Old World Charm Sophisticated 4BR/4BA home w/ guest cottage... **\$1,975,000**

Pebble Beach - REDUCED! in Country Club East 3 BR/2 BA home - fabulous floorplan **\$799,950**

Pebble Beach - Luxury Living rare top floor end unit 2 BR/2 BA with great views... **\$589,000**

831-624-1401

burchellhouse.com



THE MITCHELL GROUP

www.MITCHELLGROUP.com

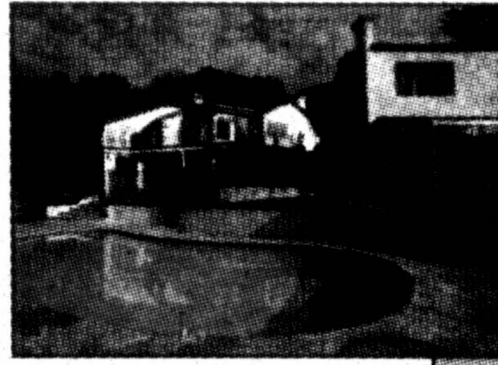
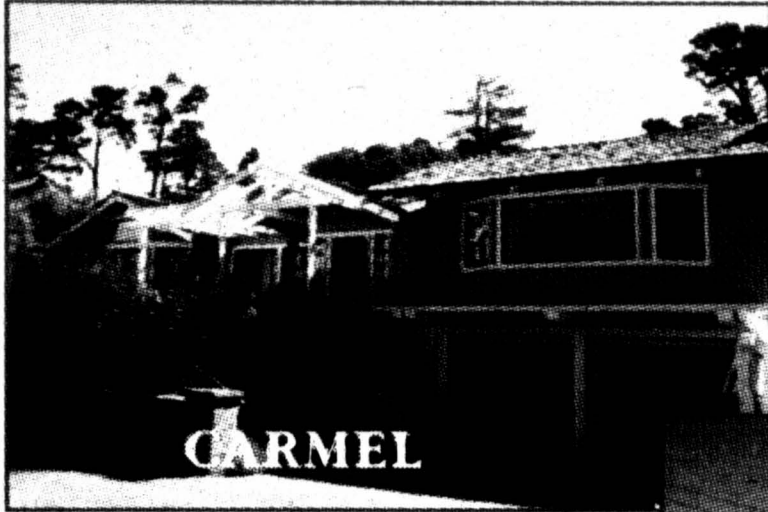
RESIDENTIAL & INVESTMENT REAL ESTATE • PROPERTY MANAGEMENT • FINANCIAL SERVICES

Ocean View Properties

Steps from Carmel Beach with dramatic views of Carmel Bay, Still-water Cove and the fabled Pebble Beach Golf Links. Recently rebuilt, this home taste-

fully blends the Craftsman era with to-day's amenities. Features include: three bedrooms, three and one-half baths, three fireplaces, separate dining and living areas, a sumptuous gourmet kitchen, family room, office/library, soaring ceilings and a large ocean view patio.

\$4,700,000



Minutes to Carmel, enjoy your own country club with this impeccable Mediterranean Estate offering spectacular

ocean and Point Lobos views complete with a swimming pool, spa, tennis court and guest house. The main house includes three bedroom suites, three stone fireplaces, separate dining and living areas, gourmet

CARMEL HIGHLANDS

kitchen, library, soaring ceilings and an extensive ocean view patio. The beautifully landscaped 1.5 acre grounds include a greenhouse and two garages.

\$3,895,000



PACIFIC GROVE—Fabulous park-like 1/3 acre with lawn and fruit trees. Three bedrooms, three baths plus a separate Jacuzzi. Skylights, fireplace and spacious closets. Walk to school, convenient to shopping. Relax or entertain on the large deck with filtered bay views. A lovely property in a neighborhood with holiday spirit.

\$740,000

646-2120



PEBBLE BEACH—Spectacular three bedroom, three bath home designed by renowned architect John Gamble. Floor to ceiling windows offer views of the Monterey Peninsula Country Club Golf Course and a peak of the ocean. Soaring cathedral ceilings, hardwood and tile floors, office/family room, and eat-in gourmet kitchen with views of the private landscaped gardens await your pleasure.

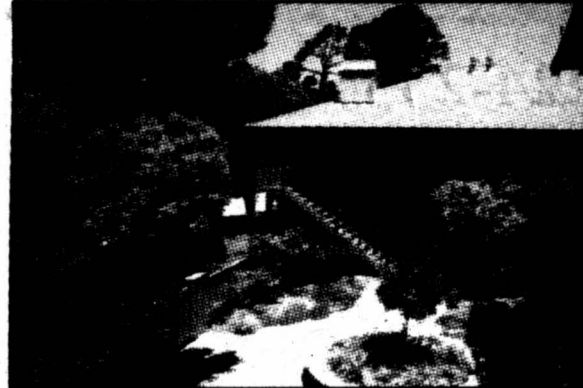
\$2,595,000

624-0136

Carmel-by-the-Sea—Top floor end unit in the only condominium complex South of Ocean. A short, level walk to everything that makes Carmel special. Spacious two bedroom, two bath with balcony and fireplace. Plenty of storage space. Private parking in the underground garage with an elevator to all levels. Perfect as a vacation pied-a-terre, or as a full-time residence.

\$729,000

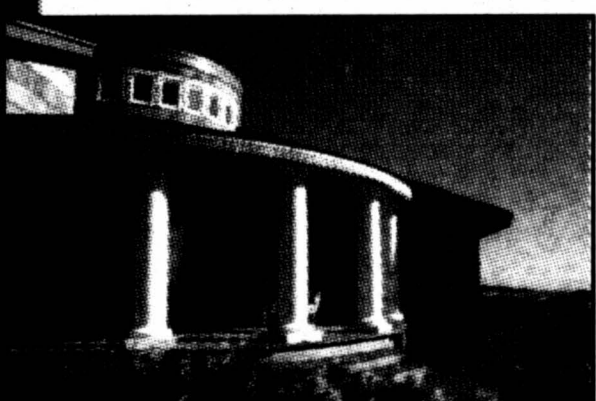
624-0136



MONTEREY—This three bedroom, one bath home was tastefully restored and is ready for you to move into. Ideally situated above street level on an oversized lot. Exposed-beam ceilings, oak-framed brick fireplace, and Craftsman lighting enhance the classic theme. The remodeled kitchen and bath include tile floor and ample oak cabinetry. With French doors that open to a large patio and garden.

\$529,000

624-0136



PACIFIC GROVE—A fabulous waterfront home, buffered from the street by naturally landscaped dunes, with 180° views of Monterey Bay, plus P.G. Golf and Point Pinos Lighthouse! This unique, eleven year old 3400 sq. ft. home, on a half acre parcel, has four bedrooms, three baths, formal dining room, living room, family room, eat-in kitchen and three car garage. The mesmerizing views of crashing surf of sand could be forever yours.

\$3,200,000

646-2120



CARMEL—Move right into this nicely maintained two bedroom, two bath get-away cottage so close to the beach and town. The home sits very nicely on the wide corner lot and has wonderful old brick walkways and patios to enjoy the quiet ambiance of the neighborhood. With a one-car garage and workshop behind it, you have all you need to park yourself in the essence of Carmel.

\$1,295,000

624-0136

CARMEL VALLEY—Gated and private custom built Mediterranean estate on 11 acres with Chardonnay vineyard. Fabulous 180 degree views. The home features three bedrooms, three and one half baths, gourmet kitchen with top-of-the-line appliances, wine cellar, a six car garage and lots of water available for landscaping, pool, guest house, etc.. The vineyard produces almost 70 gal. of wine per year (30 cases.)

\$2,350,000

659-2267



MONTEREY—This brand-new three bedroom, two and one half bath modern home was designed by Frank Grupe. Top-of-the-line amenities throughout include recessed lighting, high cedar lined ceilings, hardwood and slate floors, three fireplaces and gourmet kitchen with granite countertops. Beautiful master suite with Jacuzzi style tub and a two-way fireplace. Wood patios and landscaped lawns surround this one-of-a-kind home.

\$1,599,000

646-2120



MONTEREY—In the heart of Monterey is this absolutely adorable three bedroom, two bath home with quality features throughout. This home offers hardwood floors, cozy living room with fireplace, remodeled gourmet kitchen with maple cabinetry, granite countertops and stainless steel appliances. The meticulously landscaped yard is private and nestled safely at the end of a cul-de-sac. A must see!

\$699,000

646-2120

Open Houses

For Our Open House Listings,

Please refer to the Directory on page 48B

corcoran.com
global real estate



El Paseo Courtyard, Dolores at 7th, Carmel-by-the-Sea • 624-0136
200 Clocktower Place, Suite #100D, Carmel • 624-1566
312 W. Carmel Valley Road, Carmel Valley • 659-2267
1157 Forest Avenue, Pacific Grove • 646-2120



RECOGNIZED BY
WHO'S WHO IN
LUXURY REAL ESTATE

In Your Dreams

110 Paint them colorful!



Summers in Pacific Grove are notorious for the bone-chilling fog that often blankets the city, but there are spots in town where it's always bright and cheery, no matter how gray the skies are.

There are a nearly a dozen homes which serve as canvas for their artistic owners to express creativity and imagination. They are adding a new and vibrant chapter to the town's architectural history and are becoming tourist destinations in their own right.

Purple passion

One of the best known of Pacific Grove's colorful houses is the small Mediterranean adobe at 110 Forest Ave. near Ocean View. It's hard to miss it when driving along the coast, and it turns so many heads it's truly a local

landmark.

Owners Bryan Thomas and Larry Terry bought the home in 1985, when it was painted a basic Mediterranean white. About five years ago, after a trip to Cabo San Lucas, they decided it was time for a trip to the paint store.

Thomas said Terry had an idea what he wanted but no blueprint. So the two started experimenting with "a splash here and a splash there" and then bought the colors they liked.

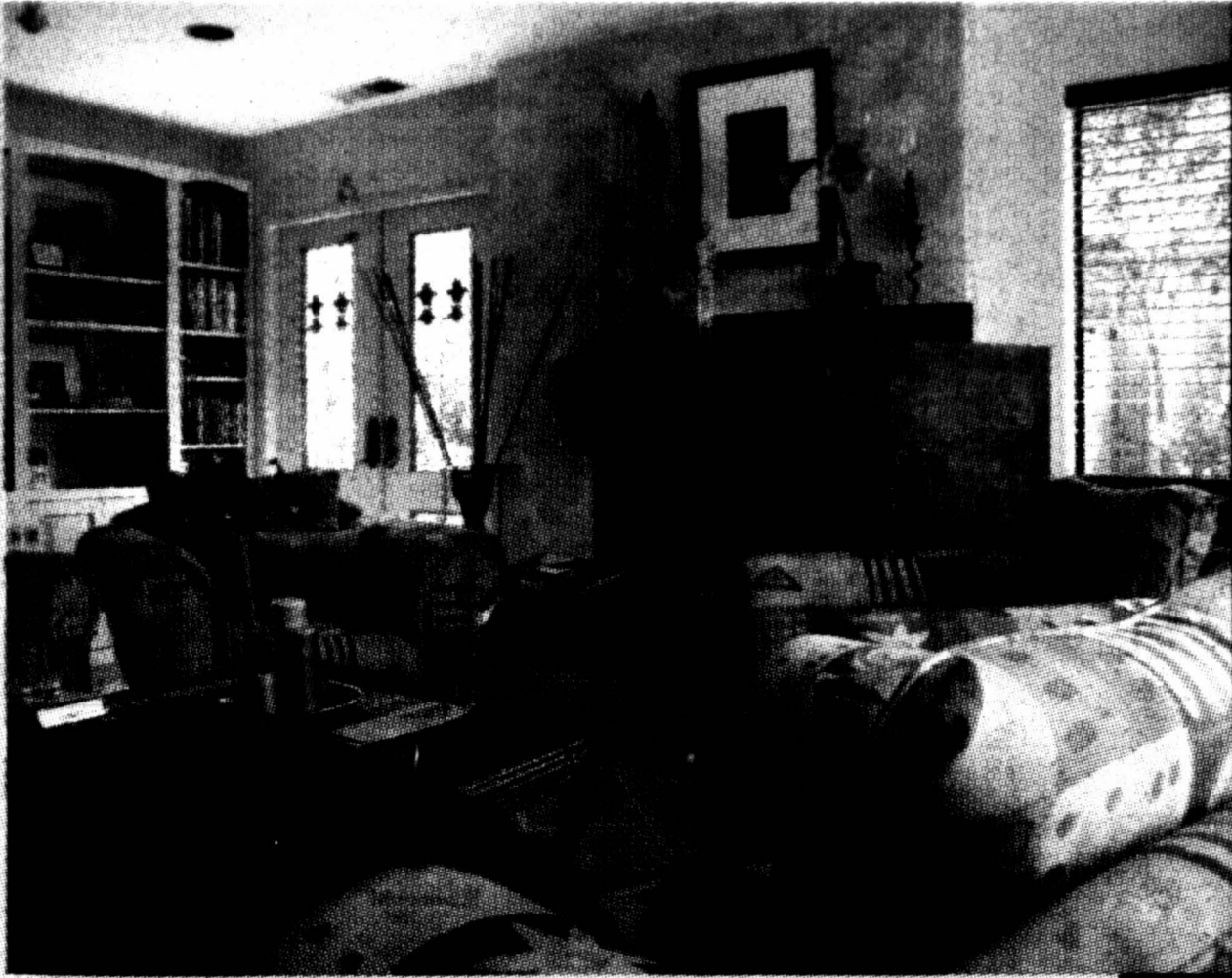
"It created itself," said Thomas, adding that they used sponges, rags and brushes to create the layered texture.

Despite the unusual combination of oranges, purples, stained glass and riot of flowers, Thomas says they never expected the reaction from passersby.

They have boxes of letters from people around

Continues on next page





the world who love it. School groups and painters use it as a model. One person sent them a tile with the house painted on it. A Japanese couple even used it as a backdrop for their wedding photos.

"We're living in a fish bowl," says Thomas. "It just doesn't stop. I thought it would at this time. We never had a clue it would draw such attention."

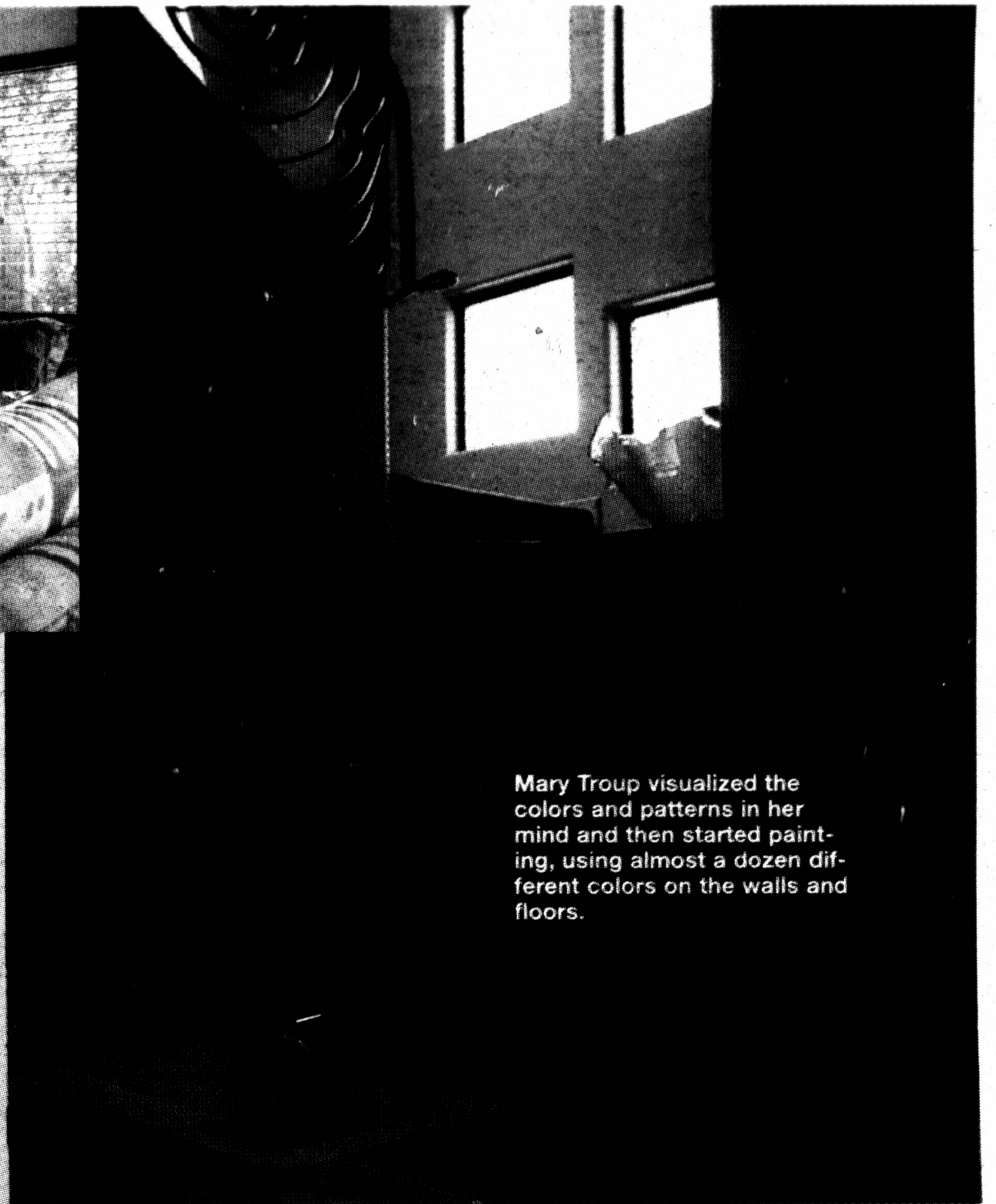
The lady wears raspberry

A new paint job just up the road on Forest may drag some of the crowds away from Thomas' home. Jerry and Carolyn Griffin's circa 1886 home at 123 Forest Ave. epitomizes the adjective "rambling." In the retreat area where some houses are so tiny they'd cramp Thumbelina, the Griffins have 2,400 square feet of living space on two floors, and that's not counting the ground floor basement or the attic. It used to be painted a matte pink, but a few months ago they decided to be a bit more courageous and coated the exterior with a multi-colored paint. A rainbow of colors accents the handrails, windows and eaves.

"We wanted to make it a painted lady like in San Francisco," said Jerry Griffin.

The Griffins researched the history of California's multi-colored Victorians and took about a year to work out the colors they wanted

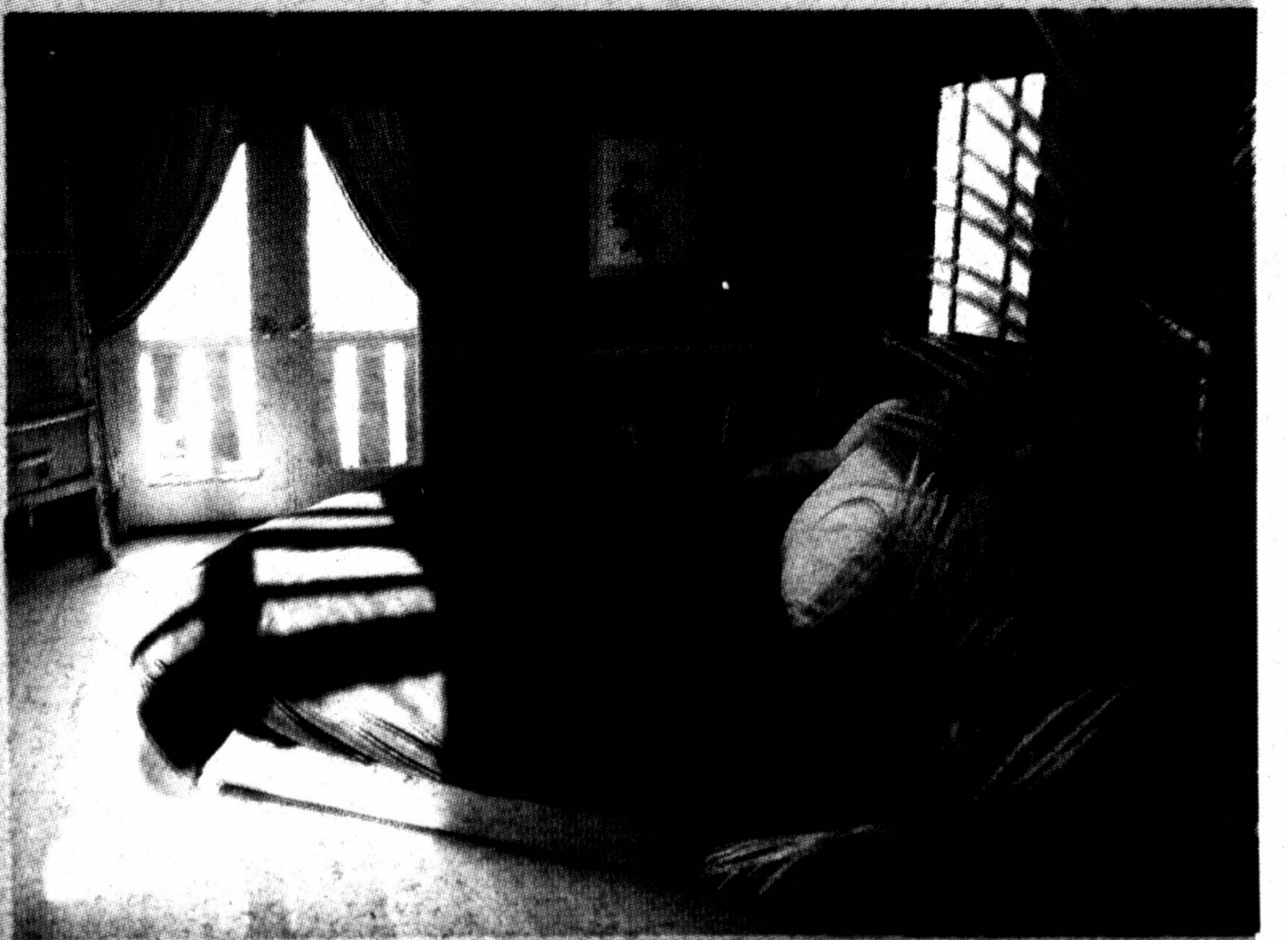
See COLOR page 9B



Mary Troup visualized the colors and patterns in her mind and then started painting, using almost a dozen different colors on the walls and floors.



Mary Troup chose light yellow Spanish marble to promote a sense of warmth and relaxation in the master bathroom. Bamboo floors, more environmentally friendly than hardwood, complete the Asian-inspired master bedroom.



Find the Home of Your Dreams!



◀ Panoramic Views! Beautiful Las Palmas, Salinas

Almost brand new, this gorgeous single story *Brillianté* model is sited high on a hill in a fabulous location at the end of a cul-de-sac. Spacious 3,257 square feet, cathedral ceilings, great room, large kitchen and family room, 4 bedrooms, office, 3 baths, 3 fireplaces and 3 car garage all still under builder's warranty. Community pool and spa. A dream come true for some lucky buyer! \$725,000.



▶ Delightful Garden setting – Hatton Fields, Carmel

Charming Cape Cod style home, beautifully landscaped grounds, lush lawns and rose covered fencing. Hardwood floors throughout, spacious living room with cozy fireplace and kitchen with granite counters and Sub-Zero, 2 master bedrooms with 2 baths in main house and large totally separate guest quarters with living/dining room, bedroom and full bath over 2-car garage. Immaculate! \$1,295,000.



◀ Historic Fox Hill – Carmel Woods

The classic look of 1920's Hollywood in the English cottage style with all new quality remodeled interiors and charming self contained guest house with granite counters, Sub-Zero, tile floors and beautiful cabinetry. Main house with 2 bedrooms, 2 baths and den, hardwood floors, wood burning fireplace and period windows. Beautiful gardens, lots of Carmel stone and large outdoor fireplace. The true Carmel of yesteryear. \$1,595,000.



▶ Cottswold Cottage – Carmel-by-the-Sea

Sparkling new...right out of the English countryside, with faux painted walls and soaring ceilings with hand-hewn beams. Many sets of French doors, hardwood floors, custom decorator window treatments, 3 fireplaces and professionally landscaped with cool green lawn and flowering plants. Decorator furnishings available. Park your car in the finished garage and walk to the village and beach. Superb! \$1,699,900.



◀ French Chateau – Carmel Woods

The perfect Carmel retreat includes ocean views and spacious lot. Rebuilt from the ground up to the slate roof with many unique features – high tech lighting, hardwood floors, granite counters, Viking stove and master suite with fireplace and 18th century marble fireplace mantel and spa bath. Outdoor fireplace and gardens complete the picture. One of a kind! \$2,198,000.



▶ "Cypress Dunes" Estate – Pebble Beach

This beautiful 5,571 sq. ft. Monterey Colonial has it all. Bordering Cypress Point Golf Course with 5 bedrooms, 6 full and 2 half baths, nearly 2.5 acres, and you even have your own regulation putting green. The fantastic kitchen was featured in Sunset Magazine with gorgeous granite and two of almost everything. The finest amenities and quality construction are featured on all three levels easily accessed by elevator. Gorgeous hardwood floors with inlay, beveled glass French doors throughout, 3 fireplaces, wine cellar, 6-car garage, spacious tiled patios and verandas with ocean views. The ultimate California dream! \$5,950,000.

Call Marjorie Fiorenza 831.622.9809
www.margefiorenza.com

ALAIN PINEL
REALTORS

1.800.440.9110
fiorenza@mbay.net

COLOR

FROM PAGE 7B

to use. Their artistic expression became a neighborhood experience.

"The neighbors were saying, 'Oh my God, what are you going to do next?'" said Griffin.

The eclectic paint job is just another interesting chapter in the house's rich history: Formerly known as Grove Hall, it was the first hospital on the Monterey Peninsula.

Living inside a fine art photograph

A few blocks from Forest Avenue,

Jeffrey and Sally Becom took a run-down, flat-top home and turned it into a color-drenched getaway. Built in 1948, the classic spare mid-century home "was in a shambles" when they purchased it in 1996, according to Sally Becom, and they had only 35 days to fix it up before moving day.

Her husband, Jeffrey, is a well known fine-arts photographer who published two books on colorful architecture around the world. Becom and his friend, abstract painter Lucas Block, had a meeting of the minds and put together the vivid color scheme that drapes the home. The result? Nine colors on the exterior, 28 on the interior.

"It's like we're living inside one of my husband's photographs or Lucas' paintings," said Sally Becom.

The couple are big supporters of homeowners who break from the pack and go silly when they enter a Sherman-Williams. A home "is a wonderful canvas

for people to express their creativity. It's what you see the most," she said.

Plus, it's like a little patch of sunshine.

"We can't believe how it lifts our spirits, even in the fog belt," she said.

The home was featured in Sunset magazine in its architectural makeover feature, but ironically the home won't be a Pacific Grove attraction much longer. The Becoms have promised to donate it to Habitat For Humanity. The non-profit housing group intends to move the home to Marina, and then the Becoms will build their dream home on their lot.

The Taj Mahal of dots and butterflies

While world cultures influenced the

Becoms, J Jackson's home at 309 9th near Pine Street is a testament to love and a positive attitude. Jackson, who goes by the single initial "J," says he merely meant to put up a few butterflies on his house six years ago because his wife was losing her eyesight and he wanted to give her something bright to look at.

"That's how it started and now I can't stop," said Jackson. He

said he couldn't believe there aren't more houses with butterflies on them in Butterfly Town, so he decided to dedicate his life to building a shrine to the winged beauties.

His home is now so identified with monarchs that his mail doesn't even need an address. Just a few weeks ago he received a letter from Ohio addressed simply to "The Butterfly House."

He was also interviewed for a documentary on monarch butterflies that is set to air on the Discovery Channel in the

He merely meant to put up a few butterflies on his house six years ago because his wife was losing her eyesight and he wanted to give her something bright to look at.

next few months. The producer stumbled upon his house while visiting Pacific Grove and decided to add him for local color.

Jackson never took any art classes and many of the materials he uses he found in dumpsters on construction sites. He works on the house every day for a few hours and says he'll never run out of

space.

"I still have both sides and the back," he said.

Along with butterflies, Jackson's sunny outlook on life also influences his art. He grew up in Harlem, but despite the tough neighborhood, he says he was always a happy kid. Then, he kicked cancer eight

CONTINUES ON PAGE 10B

SIGNATURE KITCHENS



• Custom Kitchens at less than custom prices

• Individual attention for your Dream Kitchen, creating cabinetry that is distinctively yours

Call For Consultation
831.643.9200

301 Lighthouse Ave., Ste. A
Monterey, CA

FAX 643-9201

Ocean Front Beauty

DRAMA, ELEGANCE, UNUSUALNESS



South Coast Highway 1

Just 12 miles south of Carmel is this amazing property which has just been offered for sale. 1.5+ landscaped acres are surrounded on two sides by the rugged coast with views that go on forever.

Made for entertaining or quiet reflection, there are over 12,000 sq. ft. under roof. The living room is a gracious 45' x 30' looking out on the Pacific as well as overlooking the 2500 sq. ft. solarium which features a whale shaped heated swimming pool. The adjoining rec room has a massive rock wall fireplace, a circular wet bar and room for billiards, ping pong or putting.

The kitchen works equally well for simple family meals or entertaining on a grand scale. Caterers love it. The naturally cooled wine cellar is a special bonus - as is the four-room caretakers apartment, the charming guest house and the superb acoustics. 4 bedrooms, 4 fireplaces, 7 1/2 baths, 2 saunas, hot tub, barbeque area, and the list goes on and on.

\$15,500,000

Charles H. Aucutt, CCIM

Realtor/Broker

(831) 373-2691 Fax: 373-5354

ChasCCIM@aol.com

Consign This!

Home Furnishings
on Consignment
plus Dealer Collective

Consignment!
The only way to shop.

10,000 sq. ft. from the Past, Present and perhaps your Future



Furniture
Accessories
Antiques
Chandeliers
Crystal
China
Silver
Rugs
Jewelry
Books
Dolls
Pottery
Art
Clocks
Orientalia
Linens

★★★★

Open Monday
by Appointment
to the Trade

842 Lighthouse in New Monterey

(831) 372-0475 • FAX 372-0435

Tuesday-Saturday 10-6pm • Sunday 12-5pm

when you call, we deliver

Need a customized gift in a hurry?



Count on our same-day delivery. Call us today and we'll help you deliver the perfect sentiment with flowers

624-5395

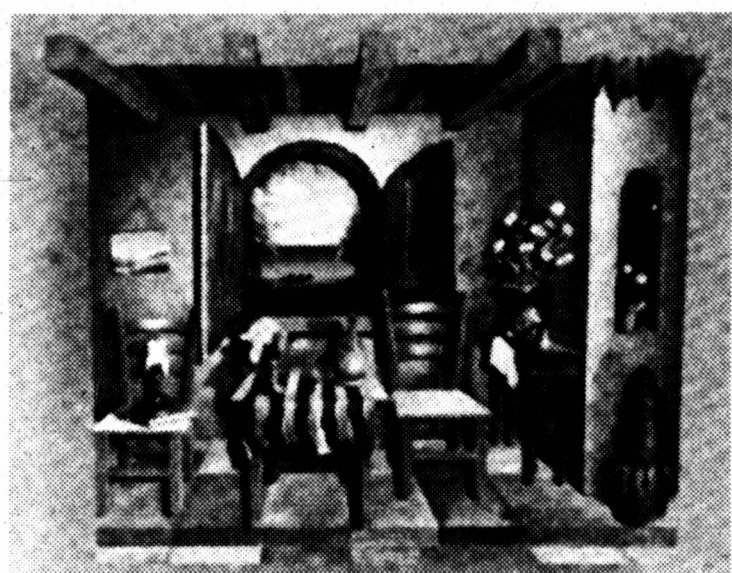
800-377-8810

Tempel's
of Carmel Florist



3604 The Barnyard

Below Thunderbird Bookstore



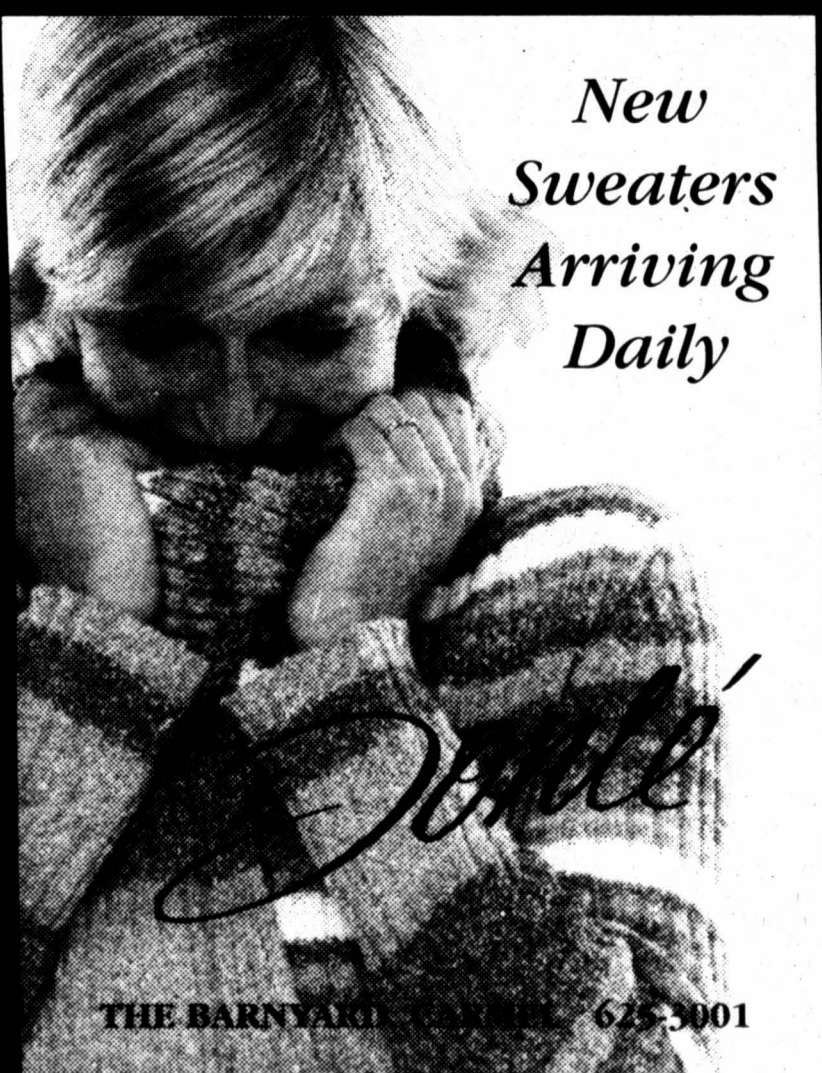
A Sinistra di' Firenze 48" x 54"
by Stephen Schubert

Lasting Impressions

Fine Art



624-7311

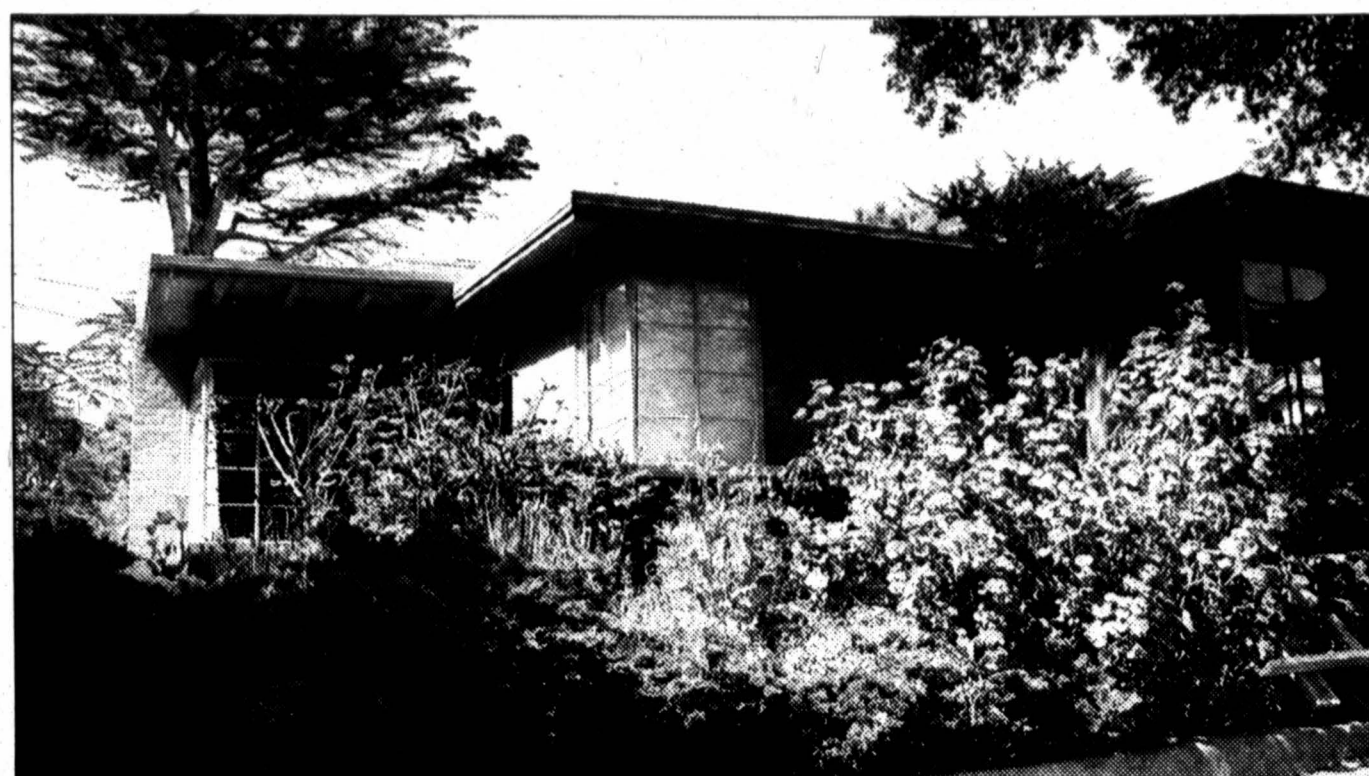


*New
Sweaters
Arriving
Daily*

THE BARNYARD 624-5001

CARMEL'S SHOPPING VILLAGE

Home & Garden



The colorful Becom house, with its 9 exterior colors and 28 interior shades, won't be a Pacific Grove landmark for long. The couple plans to donate it to Habitat for Humanity after which it will be moved to Marina.

FROM PAGE 9B

years ago and found even more appreciation for life. Now he uses his kaleidoscopic folk art to make others smile, and it's working. Some folks in town have dubbed his place the "Happy House."

"People come by and say, 'We came over so we can be happy for a day,'" said Jackson.

No guts, no glory

Mary Troup is an artist and co-owner of the store Tessuti Zoo in downtown Pacific Grove. Patrons who have marveled at the daring interior and imaginative creations may be interested to know that when Troup goes home at night, her retreat is perhaps even more whimsical than her store full of fantasies.

She and her husband, George, took a "blah, white, tract home" and turned it into a big splash of color, inside and out. While the exterior is decidedly different

from the other houses on the 400 block of Eighth Street, it's the house's interior that's really a stunner. The multi-colored scheme is elaborate, but Troup's explanation for it is quite simple.

"I love color," she said. "Because of the fog, I wanted the house to be bright enough to stave off depression."

She didn't shy from mixing and matching. From the bright red fireplace to adjoining walls of different colors to the fabrics on her overstuffed chairs, everything in the house is a mood-enhancer. Her architect told the Troups they were the "gutsiest" clients he's ever had and it's easy to see why.

Troup and the other owners of the colorful houses in town know about each other and applaud their neighbors' creative efforts as an asset to the city.

"The more different things we have

CONTINUES ON PAGE 19B



Cypress Cabinets

Bath & Kitchen Cabinetry

Featuring Cabinets by:



570 California Ave., Sand City

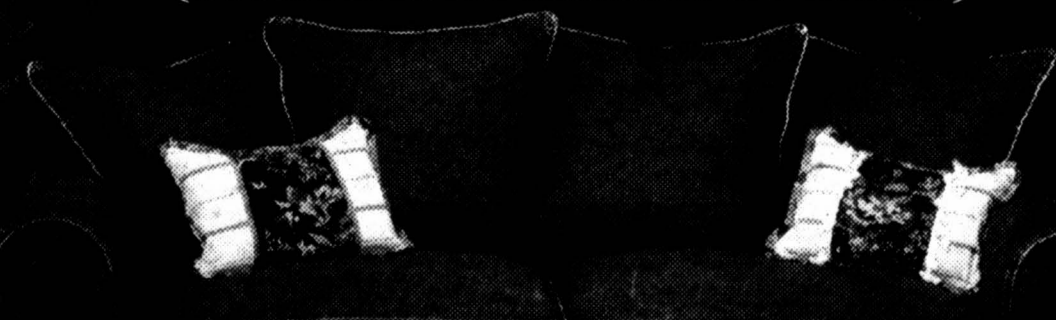
831-394-5900

www.cypresscab.com

Open 7 Days a Week!

M-F 8-5 • Sat 9-4 • Sun 1-5

The last sofa you will ever have to buy!
(Guaranteed for life...ask for details.)



Cisco slipcovered sofas are simply the best.

Home Furnishings of Exceptional Quality

618 Lighthouse Avenue
Pacific Grove

(831) 333-0448

Open 7 days a week



Shop for Father's Day
at The Barnyard

~ and remember ~

Art & Wine
June 30th ~ 1-4 pm

HIGHWAY ONE TO CARMEL VALLEY RD, RT ON CARMEL RANCHO BLVD, IN CARMEL

POLICE LOG

From page 4B

Carmel-by-the-Sea: Report of a dispute over tools at residence on Lobos. Man will seek legal advice about tools' ownership and attempt to gain a court order.

Carmel-by-the-Sea: Officer listened to woman's civil complaint until she became so argumentative and demanding that he had to terminate the conversation.

Carmel-by-the-Sea: Top of a motor home struck the branch of a cypress tree on Scenic Drive. Very minor damage to tree and top of RV. Driver advised to notify the rental company.

Carmel-by-the-Sea: Digital video camera, accidentally left on counter at jewelry store on Lincoln, was not there when owner returned.

Carmel-by-the-Sea: Complaint of a very loud music at top of stairs at Scenic and 11th. Contacted vehicle owner who agreed to turn music down.

Carmel-by-the-Sea: Officer flagged down by citizens at public restrooms at Del Mar concerning a female subject locked inside a stall in the women's bathroom who was consuming alcoholic beverages and yelling and screaming. Contact made with woman as she was walking out. She denied yelling or screaming at anyone and denied consuming alcoholic beverages. Located an almost empty bottle of wine in one of the stalls and a purse hanging from same stall. Woman did not display symptoms of public intoxication and was warned about future disturbances. Remaining contents of bottle disposed of.

Carmel-by-the-Sea: Court-appointed conservator of property at Second and Santa Rita requested check that evicted party had moved out. Man was found not to be on premises.

Carmel-by-the-Sea: Woman has been entering church at Junipero and Ocean after all the doors and windows have been locked. She has been advised of food and shelter options in the area. Church will advise if woman is found on premises again.

Carmel-by-the-Sea: Report of loud music at Junipero and 11th.

Carmel-by-the-Sea: Dog at large in Carmel Plaza.

Carmel-by-the-Sea: Verbal argument over a business transaction at San Carlos and Ocean. According to one man, when he tried to resolve their differences, the other began to taunt and ridicule him. Officer contacted all parties and counseled them.

Pebble Beach: On San Carlos Road, woman noticed door to her neighbor's residence open. No one was found inside the residence and there was no evidence of forced entry.

Carmel area: Numerous items of found property turned in from Crossroads Safeway.

WEDNESDAY, JUNE 6

Carmel-by-the-Sea: Motorhome relocated from Del Mar to the Mission Field ball park. Driver was extremely fatigued and

allowed to park on Rio Road for the evening.

Carmel-by-the-Sea: Garbage dumped in roadway on Junipero between First and Second. Contents consisted of kitchen garbage, papers and plastic containers. No identifiable names or addresses on garbage. Public Works notified.

Carmel-by-the-Sea: Telephone wire down on Santa Fe near Second. Phone company notified.

Carmel-by-the-Sea: Resident of Casanova near Palou reported that while sitting in his residence he heard the sound of

breaking glass and a car speeding away. He found one of his 12" by 12" window panes in a front room broken. He also found a steel ball, similar to a 3/8" ball bearing, lying on the floor. He has no idea who might have broken the window. Officer checked the glass and found a round 1/2" hole. It appears the instrument used was a slingshot. Officer checked with neighbors for witnesses with negative results.

See **POLICE LOG** page 21B

THE LIGHTS OF ROME



Italian Lighting Fixtures and Home Furnishings

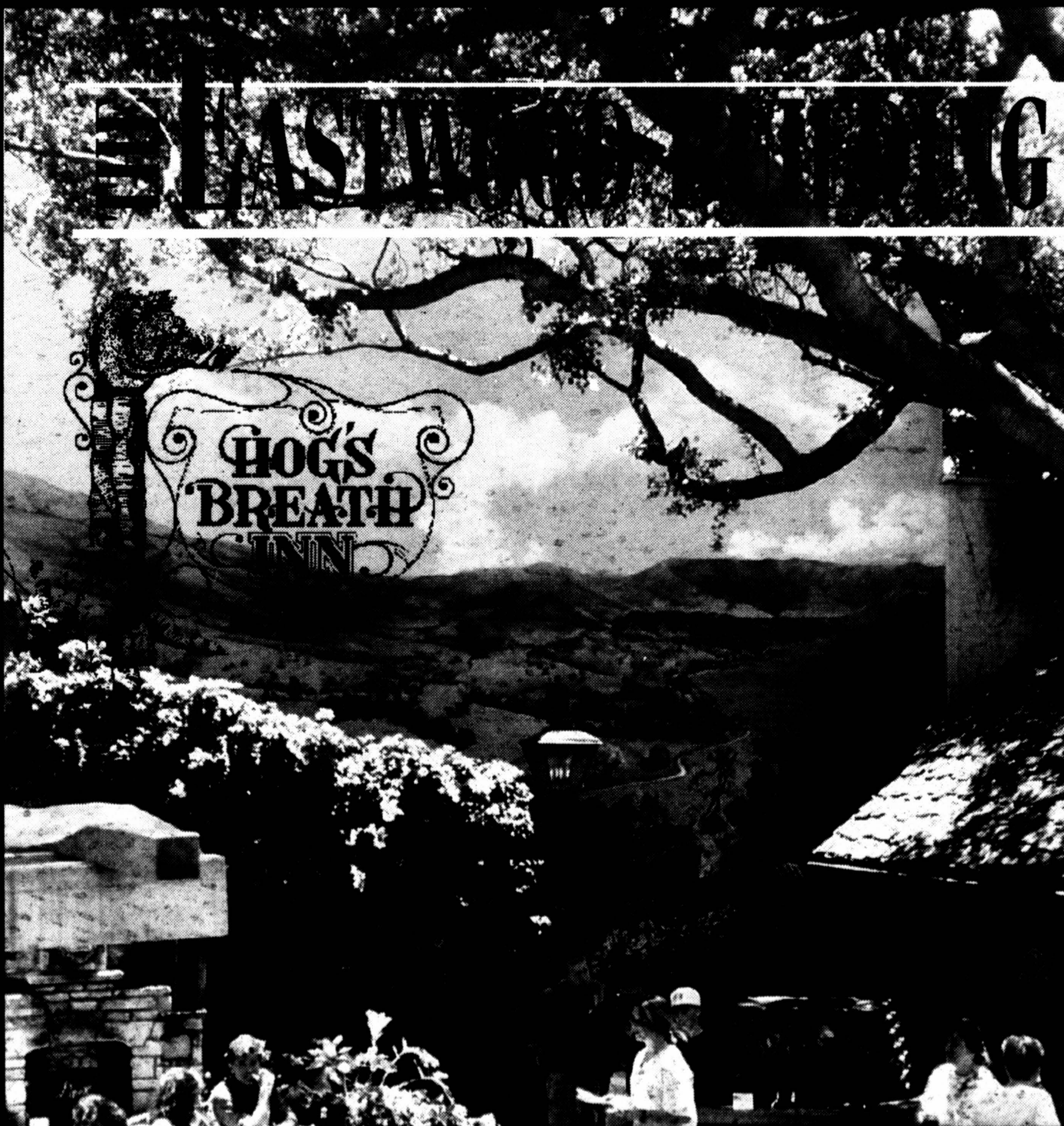
From the people who civilized the world.

Daily 10:30am - 5:30pm

500 Polk St., Monterey, CA 93940 • (831) 642-9026 • Fax (831) 642-9035

Kitty-Corner to Ordway Drugs in Old Downtown Monterey

Parking available behind the building



Hog's Breath Inn

LUNCH & DINNER DAILY

GJ's Wild West

WESTERN INSPIRED CLOTHING
& ACCESSORIES FOR MEN AND WOMEN

GJ's Wild West

HOME FURNISHINGS

Carmel Business Association
Visitor Information

Located on the west side of
San Carlos Street between 5th and
6th in charming Carmel-by-the-Sea

PURVEYORS OF FINE PROPERTIES

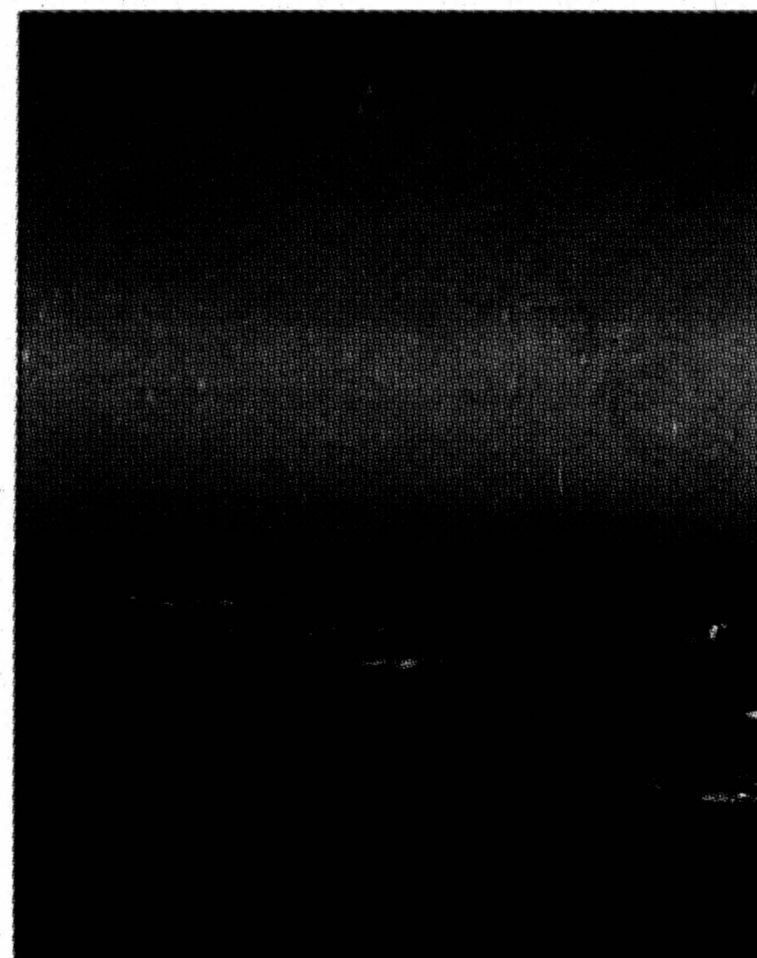
Main Pine Realtors

OCEAN *V*IEWS from

Halcyon Heights

Endless Ocean Views unfold before this stunning 7.2 acre building site high on a bluff in the gated community of Halcyon Heights across from the entrance to Pasadera. Permits are in place to begin work on the John Matthams - designed plans for a 3,100 sq. ft. home, so you can build immediately and add your own personal touches to make this special residence uniquely yours!

~ Offered at \$995,000 ~



OCEAN *V*IEWS on

Carmel's South Coast

An ever-changing Pacific panorama dances before you from this wonderful Cape Cod style home in the Yankee Point area of Carmel's South Coast. Offering 4 bedrooms and 3 baths, the spacious, approx. 2,600 sq. ft. interior is complemented by gardens on the private, gated property.

~ Offered at \$1,795,000 ~



BRAND *N*EW in

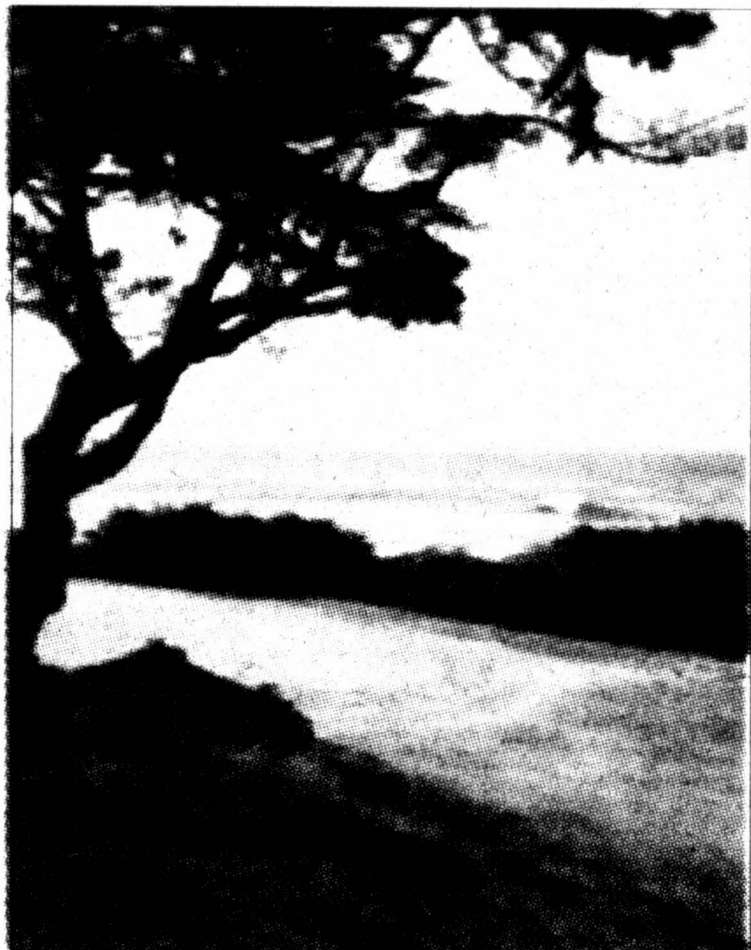
Carmel-by-the-Sea

Fully landscaped and accented by a patio and deck, this newly constructed 3 BD, 2 BA single-level home is a distinctive delight! Graced by soaring ceilings, French doors, 3 Carmel stone fireplaces, gleaming hardwood & limestone floors, a separate dining room, and the very finest materials & appliances, the illustrious interior is an inviting sanctuary as well as an entertainer's dream. This custom residence provides a relaxed yet refined haven, in a tranquil, private setting ~ while being close to all that the village of Carmel has to offer!

~ Offered at \$1,695,000 ~

831.622.1040

Representing Various Points of View



GOLF COURSE AND OCEAN VIEWS in **Pebble Beach**

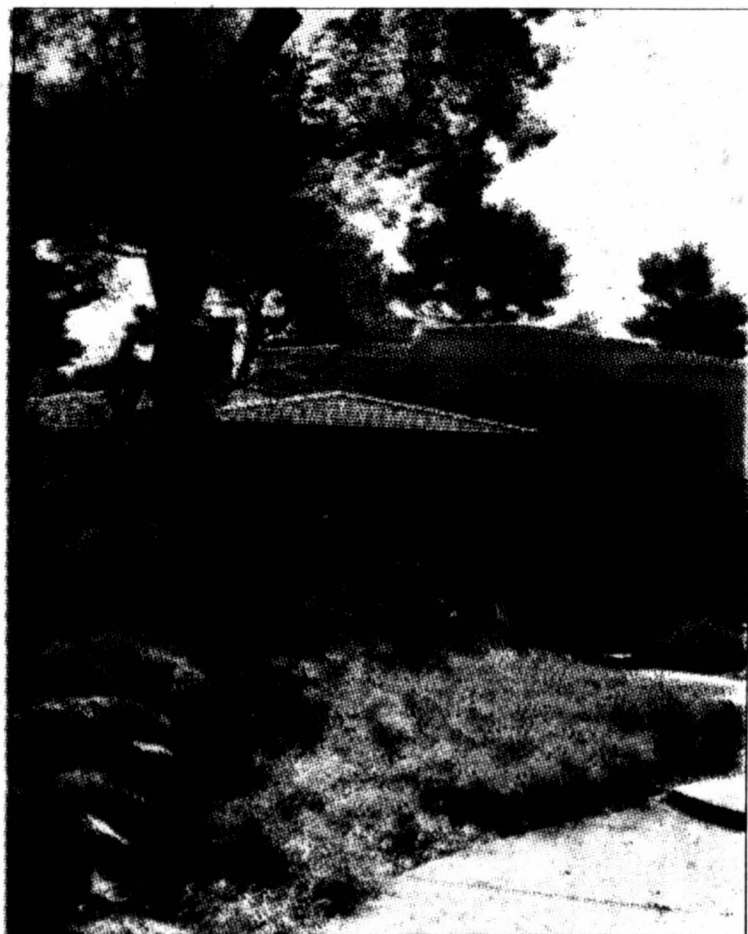
Bordering beautiful Cypress Point Golf Course, lush, landscaped grounds cover almost 2.5 acres, including your very own regulation putting green & golf tees! The formal dining room opens onto a dining patio with firepit; the gourmet kitchen was featured in Sunset magazine. Balconies run the entire length of the 5 bedroom, 6 full & 2 half-bath residence ~ and white water Ocean Views can be enjoyed from the upper level bedrooms and balcony.

~ Offered at \$5,950,000 ~

GOLF COURSE AND OCEAN VIEWS in **Pacific Grove**

Enjoy Ocean Views while warmed by the fireplace in this 3 bedroom, 2 bath home ~ or venture outside for a game of golf at the lovely Pacific Grove Golf Course! Fabulous Bay Views would be enhanced even further by the addition of a second story.

~ Offered at \$1,200,000 ~



EXQUISITE CUSTOM CREATION in

Monterra

A grand two-story formal entry leads in to the pristine interior of this stunning, spacious, gracious home in the private enclave of Monterra. The elegant Master suite has its own fireplace, enormous marble bathroom with steam shower, and exquisite custom closets the size of rooms themselves! This majestic masterpiece offers extensive space and amenities for entertaining, graced by the finest materials and appliances, a wine storage room off the kitchen, formal dining room, and a dramatic 2-way fireplace between the great room and the formal living room. French doors access the private, manicured grounds & patios, and a two-story wall of windows provides wonderful tree-lined views across to the hills and valleys beyond. Truly a world apart, yet with easy access to Carmel, Pebble Beach, and Silicon Valley!

~ Offered at \$3,975,000 ~

Bernabe de Luna's palate of phenomenal memory

Story and photos
by MARGOT PETIT NICHOLS

ZACATECAS IS not only a state in Mexico, it's a stunning hill country colonial city, the capitol of the state, with a population of almost 59,000 and known for its architecture and the cultural treasures in its museums and university. A pinkish cast seems to radiate from the sandstone buildings, some of them marvels of colonial baroque.

Yet for all its sophistication, picturesque water vendors on burros are a common sight in the cobbled streets of Zacatecas, and men in jeans, plaid shirts and straw hats lend a country air to the city. So when Bernabe de Luna, barely 21, left Zacatecas 12 years ago to make his way in the U.S., he was not a small-town boy from the country, awed by the opulence of the American way of life. He came because his father had just died, leaving his mother and six sisters to be cared for; American wages would make that possible.

As he searched for his first job on the Monterey Peninsula, he couldn't have known that he already possessed a gift one cannot buy: the taste buds of a genius.

What de Luna didn't have was a command of the language, or as de Luna candidly put it, "I didn't speak one word of English."

Yet by being "a good mimic," and reading everything he could, he soon spoke a rudimentary English and land-



Surrounded by vintage wines in a Pacific's Edge dining room, Bernabe de Luna, wine director, is in his favorite environment.

ed two jobs: busboy during the day at Highlands Inn and busboy at night at Chevy's. For three years he cleaned tables night and day until he got a big promotion: room service at Highlands Inn.

Whenever he had a few minutes to spare, he read about wines in American magazines. He read and read, but in his three years in room service, he had no opportunity to taste the wines he read about and served. The components, let alone the nuances of dozens and dozens of vintners were a mystery to this young man from Zacatecas.

The palate becomes apparent

Two years later, his greatest opportunity arose: He became a night waiter at Highlands Inn's Pacific's Edge restaurant — that top-of-the-line restaurant with the view that never quits and setting for the renowned annual Masters of Food and Wine extravaganza.

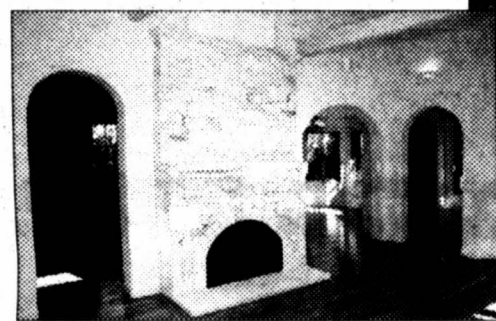
Mark Jensen was wine director at Highlands Inn, and de Luna became his protégé. "I started helping Mark with stacking wine in the wine cellar, doing inventory. That's how I became familiar with wine labels," de Luna said.

And lest the reader think this a small task, know that Highlands Inn has an inventory of about 30,000 bottles, which translates into \$650,000 worth of fine wines.

"Mark took time to talk to me about wine, and started taking me to tastings in San Francisco," de Luna said.

SEE PALATE PAGE 16B

SHOWN WITH
PRIDE...
OPEN
SAT. 1-4



NE Corner Guadalupe & 5th, Carmel
Newly constructed three bedroom, two bath home located walking distance to town. Professionally

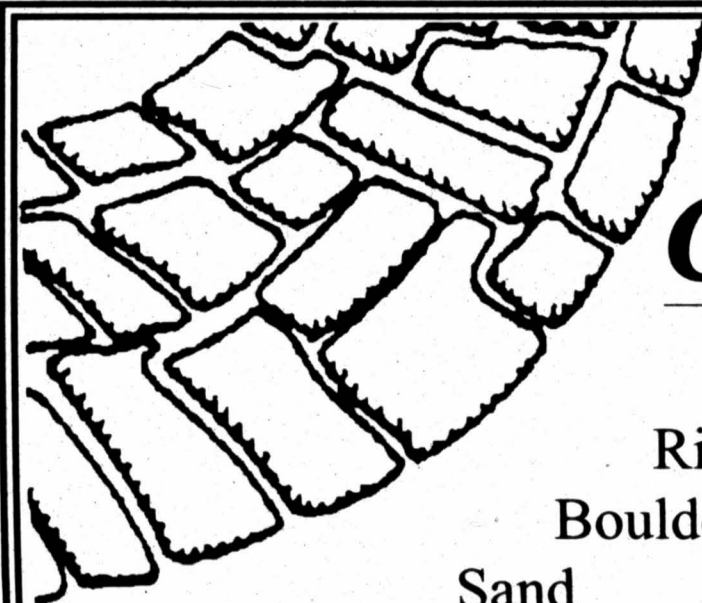
landscaped, gleaming hardwood floors, cozy Carmel stone fireplace for those chilly evenings, granite kitchen counters and master suite with peek of the ocean - plus bath with spa tub & separate shower. Lower level features two additional bedrooms, bath with steam/shower, and laundry. Offered at \$1,495,000.



RE/MAX
MONTEREY PENINSULA

Lee Murray

594-5158 or (831) 625-3535 Ext. 112



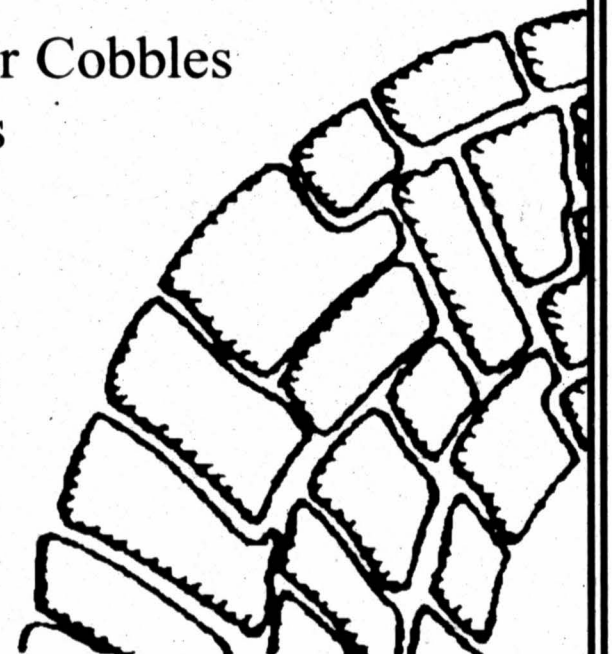
Carmel Stone

DELIVERY BY CLARK TRUCKING

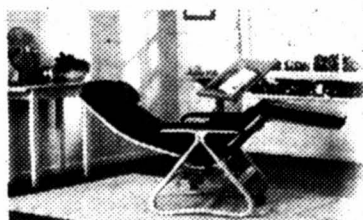
River Cobbles
Boulders
Sand
Gravel

Will Clark 831-385-3204

ARROYO SECO ROCK
King City, California



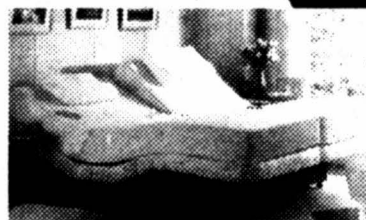
2 FREE Pillows With Mattress



Home...



Office...



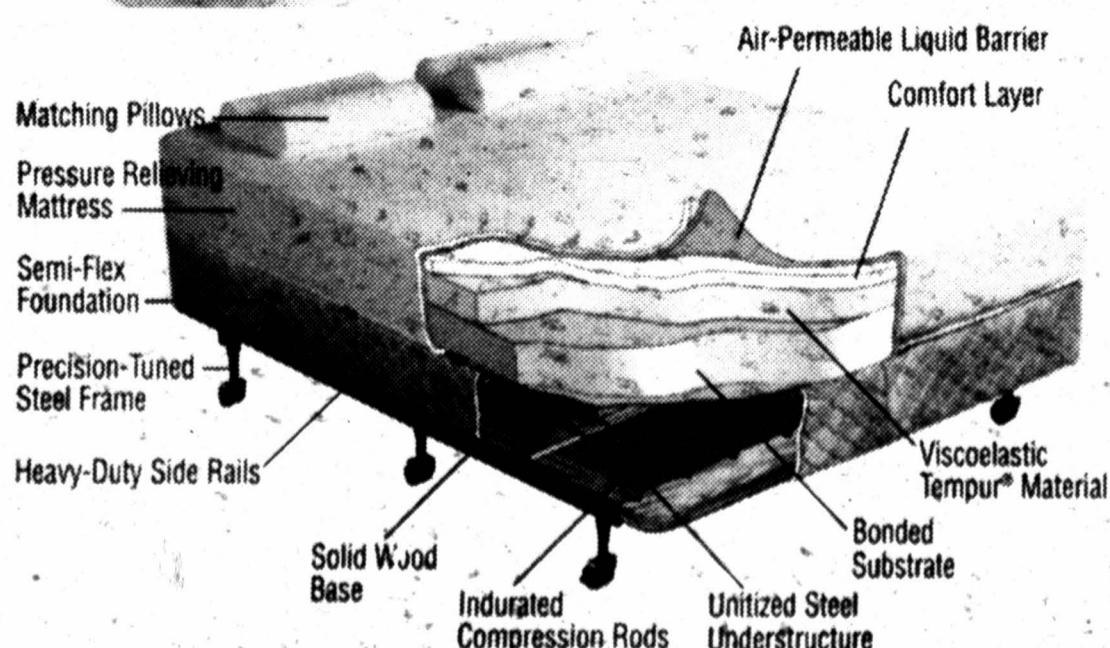
Sleep...



Travel...



TEMPUR-PEDIC
PRESSURE RELIEVING
SWEDISH MATTRESS AND PILLOW



Summer SALE

Welcome

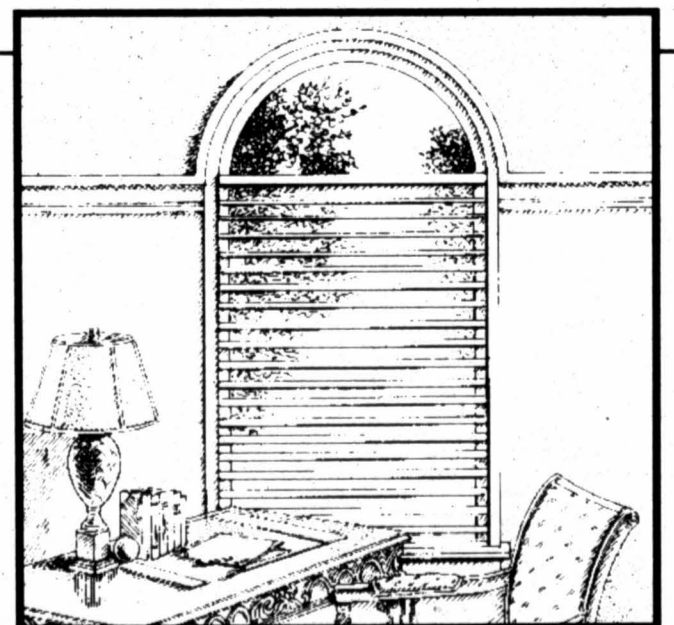
BACK!

658-0178

Del Monte CENTER

Across from See's
Del Monte Center

The Store for Healthy



**THE BEST WINDOWS
DESERVE THE FINEST
TREATMENTS.**

No matter what kind of windows you have, Hunter Douglas window fashions has the right treatments every time. Innovative looks, beautiful lighting options and elegant energy efficiency all add up to the most advanced, most attractive styles ever.

Don't wait to treat your windows right - Hunter Douglas. Changing the world one window at a time.

HunterDouglas
WINDOW FASHIONS

Mykel's
INTERIORS & FLOORCOVERING

Unique • Refined • Eclectic • Design

372-6712

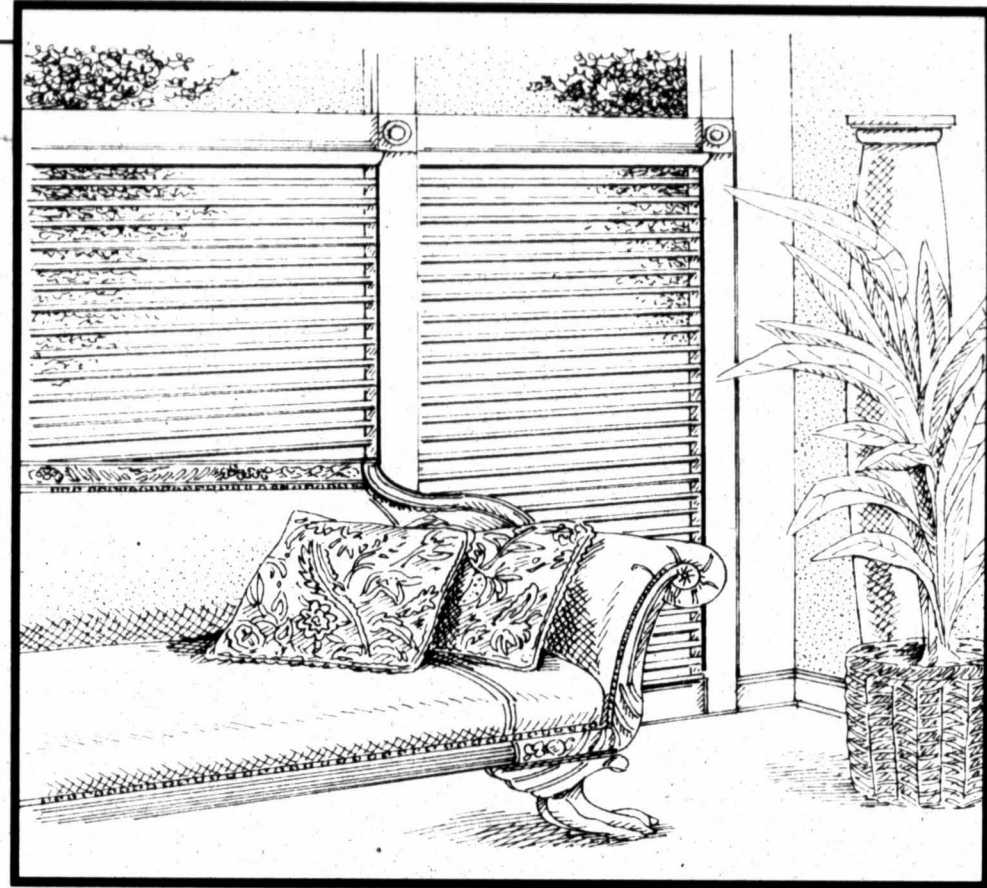
Call for a FREE home consultation.

2056 SUNSET DRIVE • PACIFIC GROVE
In the Russell Service Center, across from Hayward Lumber
Cont. Lic.#755924



IN YOUR DREAMS

As wine director, Bernabe de Luna rules over 30,000 bottles of wine in the cellars of Highlands Inn, Carmel. De Luna knows precisely where any given wine is stored, and can produce it at a moment's notice.

HIGH TECH
WITH A SOFT TOUCH

Silhouette® window shadings from Hunter Douglas. Not quite a blind, not quite a shade, Silhouette features soft silky fabric vanes that float between two sheer facings. Experience this beautiful window fashion today.

HunterDouglas
WINDOW FASHIONS

GARLAND'S
INTERIORS

Home Consultation: 375-5436

Monterey Peninsula's Hunter-Douglas Priority Dealer



Don't just dream it.
Do it!



Featured: Cabinetry by DeWills Industries

With a variety of traditional and contemporary styles to choose from, our friendly, talented kitchen designers can turn your dream into a reality.

WESTERN CABINET
& COUNTERTOPS

455-2149

Visit our beautiful showroom
today!



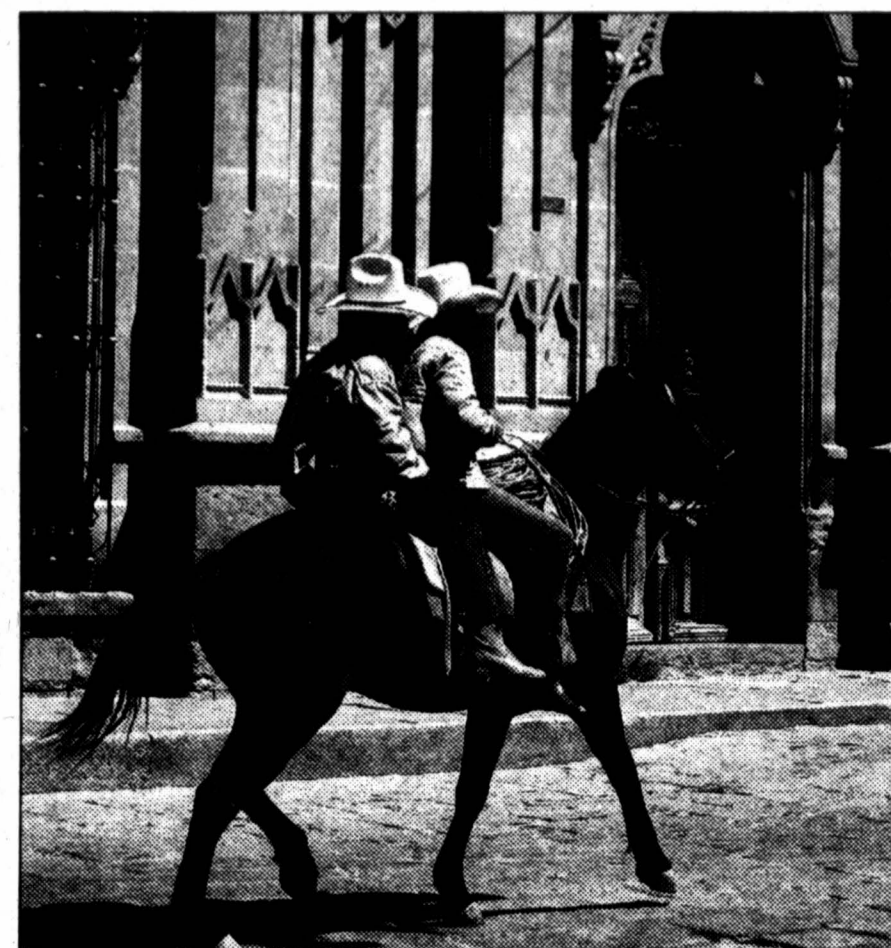
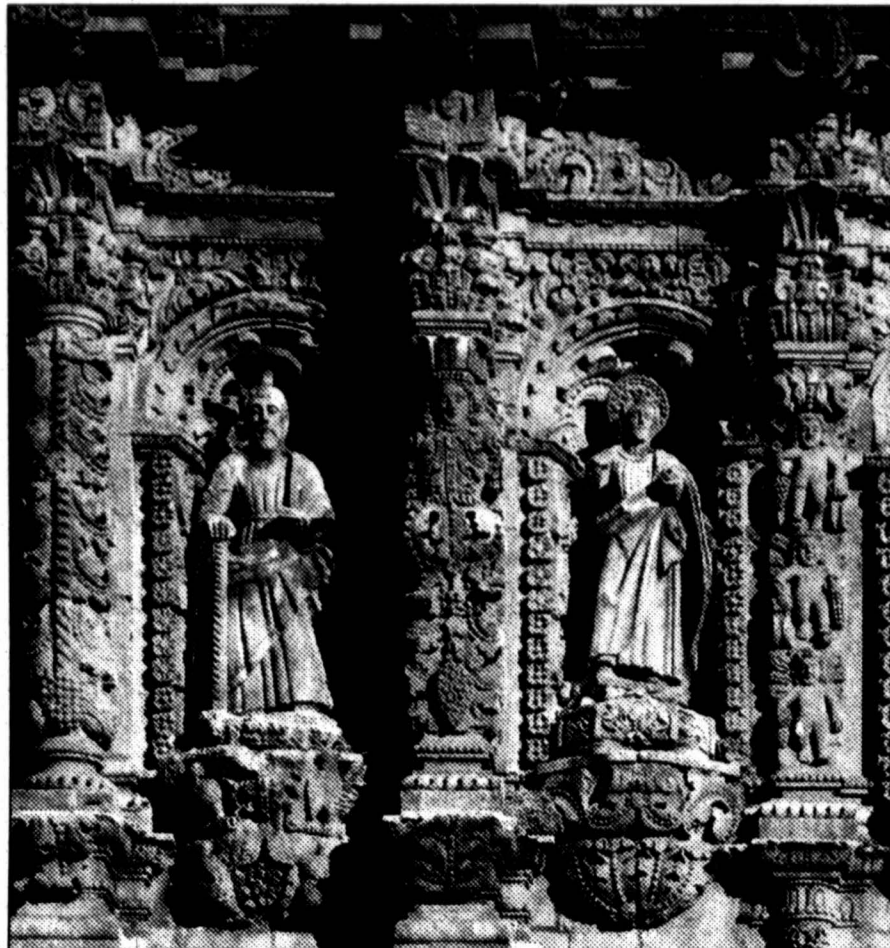
We just received our
NEW LARGE SHIPMENT
of Pakistani & Indian handmade
vegetable dyed rugs!

Sizes 4x6 • 5x8 • 6x9 • 8x10 • 9x12 • 10x14 • 12x15

...Plus a large selection of hall runners

Pamir Rugs and Kilims

237 Lighthouse Ave., Monterey (Next to Poppleton's) 647-9965



Bernabe de Luna hails from Zacatecas, in the highlands of Central Mexico. The gleaming city of pink sandstone is known for its colonial baroque architecture, its colorful fiestas and stunning contrasts of old and new. In the narrow, cobbled streets, it's not uncommon to see water vendors astride patient burros or caballeros framed by towering cathedrals.

SPECIAL SUMMER PRICING

Scudder Roofing

Residential & Commercial

Inquire about our
NEW PRODUCTS
that are available!

**Take advantage of
OFF SEASON RATES**

Visit our website at www.scudderroofing.com
and see why Scudder Roofing is the Best Choice in
roofing contractors

MONTEREY 373-7212 **SALINAS 424-4403**

Pete Scudder, Owner • Contractor's Lic. #445118

Member
Better
Business
Bureau

**BONDED
INSURED
PL & PD**

- Slate • Tile
- Composition Shingle
- Shake
- Built-up Roofing
- Energy-Efficient Roofing



When he visits his homeland, de Luna can compare the Zacatecan cuisine with the fine wine and food of the world that he has discovered in Carmel, San Francisco, New York, Germany and France.

PALATE

FROM PAGE 14B

It was at these wine tastings that de Luna's remarkable palate became apparent. De Luna can taste a wine, identify its outstanding qualities, and converse knowledgeably about it later. His superiors agree his palate has a phenomenal memory.

But de Luna is modest. He attributes his wine knowledge to a passion for wine and food that came through Jensen's mentoring.

In the summer of 1998, de Luna traveled to Europe with his roommate, Thomas Perez, who had participated

HOMESCAPES

THE GROVE HOMESCAPES
472 Lighthouse, Pacific Grove • 656-0864

HOMESCAPES, CARMEL
SE Corner 7th & Dolores, Carmel • 624-6499

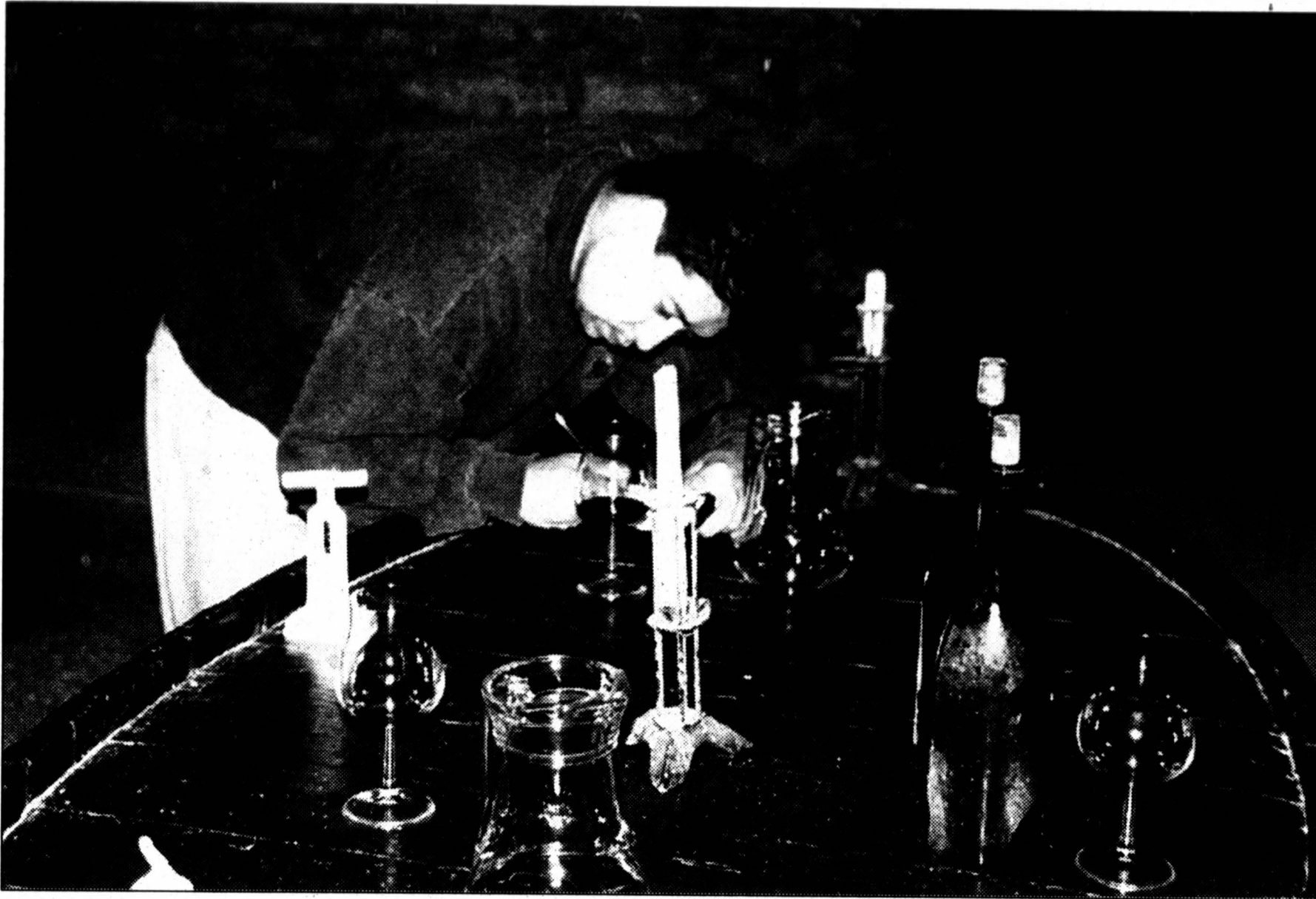
Open 10-6 Daily

DIRECT IMPORTERS OF
FURNITURE & ACCESSORIES FROM
AROUND THE WORLD

PREVIEW OUR COLLECTION AT HOMESCAPESNEWS.COM



As wine director of Highlands Inn, Bernabe de Luna suggests and pours wine for diners in the inn's Pacific's Edge restaurant.



IN YOUR DREAMS

Three wine districts in France and two in Germany were visited by de Luna and Thomas Perez, who were able to taste and evaluate dozens of wines at renowned estates. They made notes and discussed the day's tastings each evening.

up, we coordinate the wines to the chefs' menus," de Luna said.

The jewel in the crown of the Masters of Food and Wine is the James House Rarities Wine Dinner, limited to 24 diners (three tables of eight) held on the exquisite estate just across from Highlands Inn, the Carmel stone house clinging to the cliffs above the Pacific.

Twenty-two wines accompanied the eight-course dinner prepared in February this year by two famous chefs, one from London, one from New York, and an award-winning Manhattan pastry chef. It was de Luna who selected the wines, cared for the wines, had his staff polish the 528 wine glasses in which the wines were served, oversaw the serving of the wines while discoursing on the distinction of each to the diners. No small task for a young man from Zacatecas — or any-

CONTINUES ON NEXT PAGE

CONTINUES FROM
PREVIOUS PAGE

in the San Francisco tastings. Jensen set up tasting appointments for the young men — two to three a day — at various wine estates in Champagne, Burgundy and Alsace, and de Luna and Perez were conscientious in tasting wines, taking notes and talking together about the wines later.

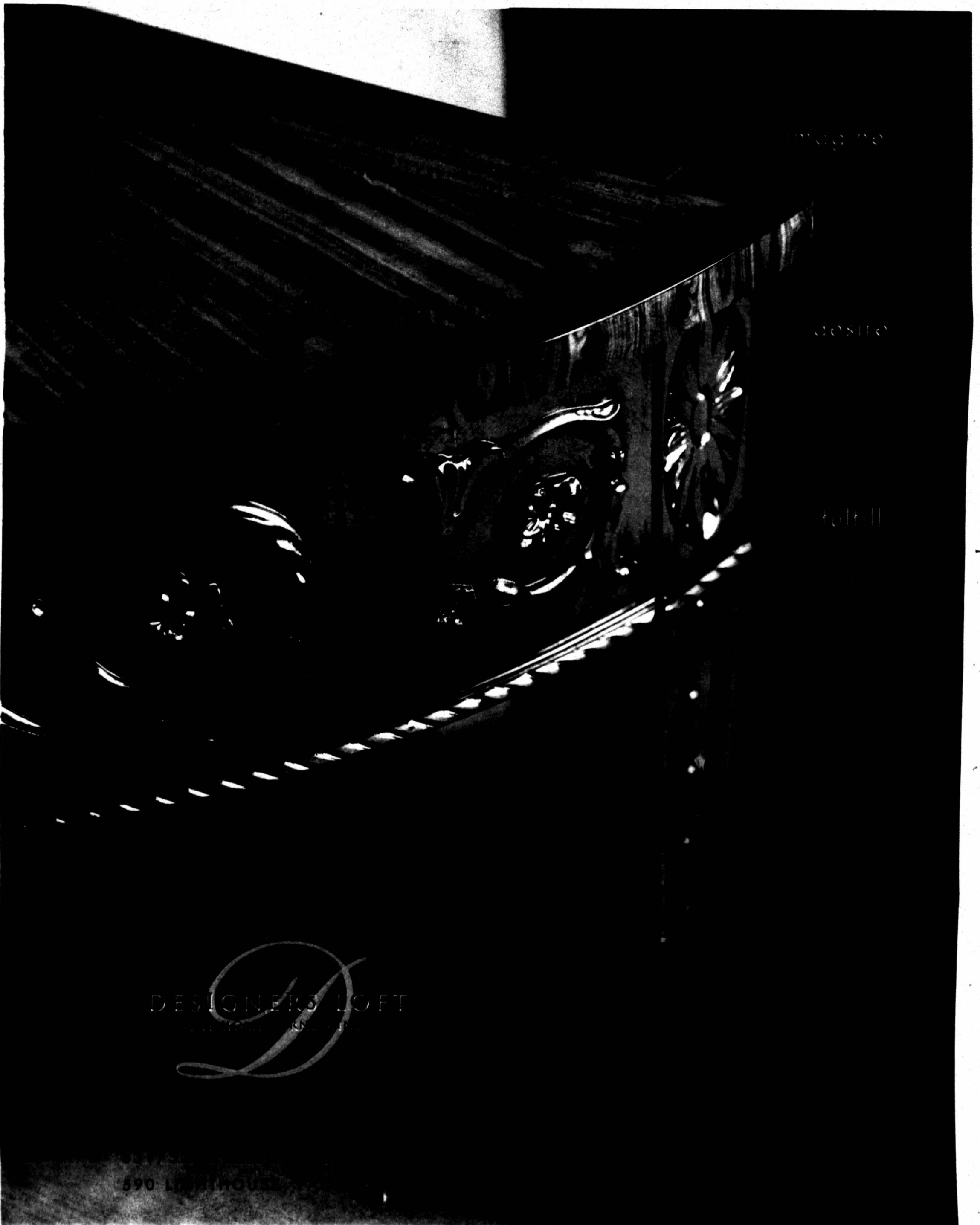
Tasting Europe

"When we went on our own to Europe, we traveled through three wine districts of France and then for a couple of days we went to Germany, to the Rhiengau and the Rhienpfalz. All in all, it was a pretty intense three weeks," de Luna said.

When they returned home, he read even more about wines, and then, on an annual trip home to Zacatecas, acquired books and magazines in Spanish which helped him translate wine terminology. Readings and tastings keep de Luna abreast of new wines and new vintages.

When Jensen and Perez left Highlands Inn to become wine director of Bernardus Lodge and assistant two years ago, de Luna was made cellar master of Highlands Inn. Last December de Luna achieved the coveted role of wine director. "It was Highlands Inn general manager Ulrich Samietz who trusted me with this position," de Luna said. "I can never thank him enough."

As such his duties are prodigious: He is in charge of all the food service wines at the hotel. He maintains the wine program and list, orders wines for events like the Masters of Food and Wine which draws world-famous chefs and vintners and multitudes of wine aficionados to the Highlands Inn each February. "When we have the list of participating chefs and wineries drawn



DESIGNERS LOFT

590 LANTANA

IN YOUR DREAMS

FROM PREVIOUS PAGE

where else, for that matter.

In mid-May, de Luna traveled to New York City with Highland's Samietz, Pacific

Edge's Chef de Cuisine Philip Baker, sous chef John Gerber and pastry chef Elizabeth Scherber, all of whom participated in Baker's invitational dinner prepared for the prestigious James Beard

Foundation. It was de Luna who paired the wines to the six-course dinner.

His schedule is intense and demanding at Highlands Inn, but each year de Luna travels home to his pink city to visit his

mother, Elvira Lopez, and sisters — three of whom he has now put through the University of Zacatecas.

"I miss my city," de Luna said. "I always look forward to going back." ☉

Big Sur Retreat



Your own piece of heaven! Ten acres of magnificent ride top property with views forever. Small redwood house, electricity and plenty of water. Two separate five acre parcels, year around dirt road. \$550,000.

Beth Robinson ~

When you love what you do, it shows! Beth has recently joined The Mitchell Group and brings with her 20 years of real estate experience, an intimate knowledge of the area, and a love for finding just the right property for her clients. For that special vacation home, a year around residence or to list your present home, call...

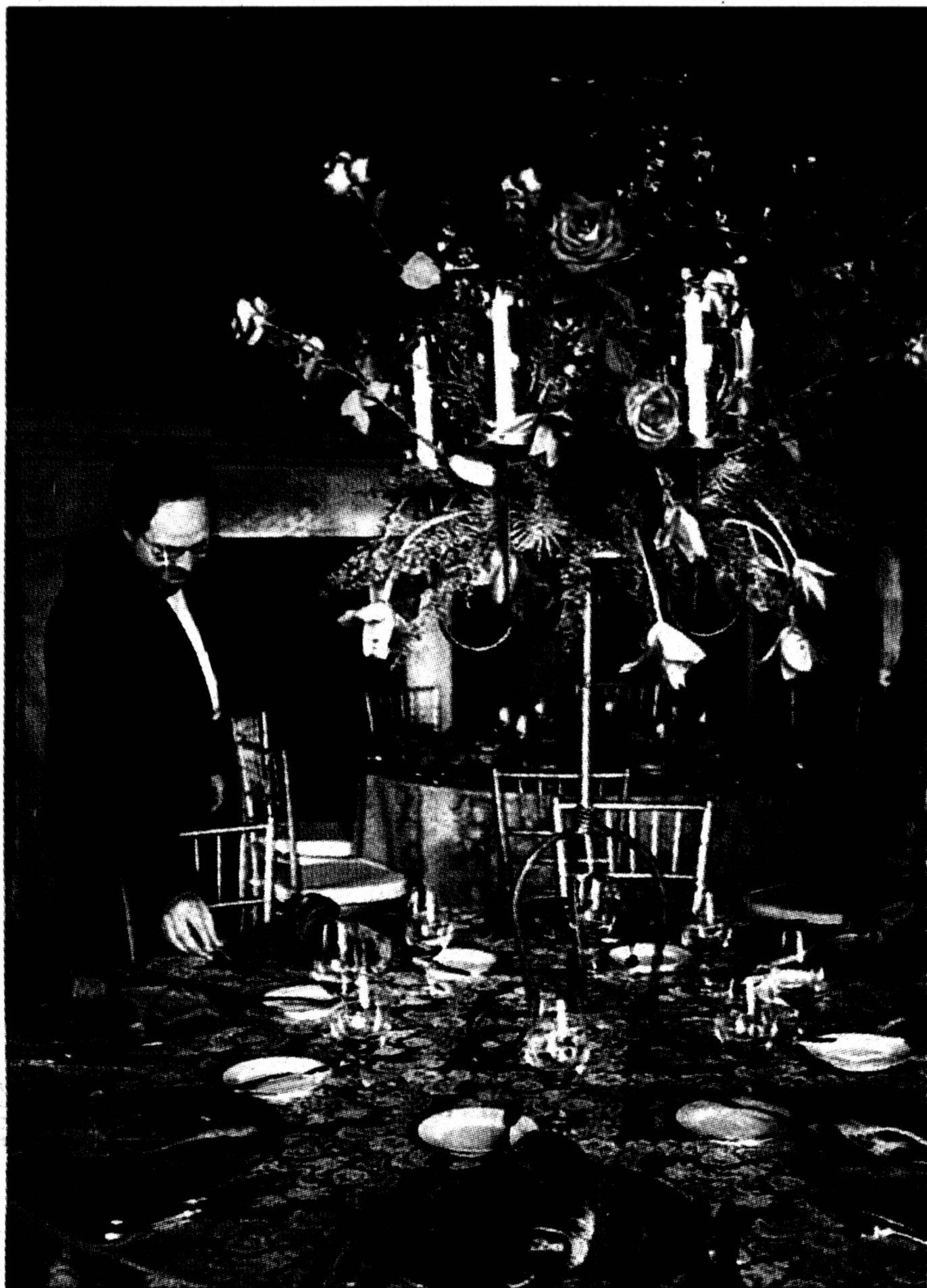


Beth Robinson 625-3800

carmelbeth@earthlink.net



THE MITCHELL GROUP



In case you never get to savor the James House Rarities Wine Dinner during the Highlands Inn's annual Masters of Food and Wine gathering, this is what you'll be missing: Sumptuously appointed tables, resplendent with flowers and candles — and eight courses of exquisite food paired with 22 rare and costly wines.

Move Up with the World's Most Chosen Stairlift

The new Stannah 250 is the most versatile stair-lift in the world today. Featuring advanced technology, european design, unique slim rail, and battery powered.

For a free brochure, call Acme Home Elevator — your exclusive dealer for Stannah lifts — today.



ACME

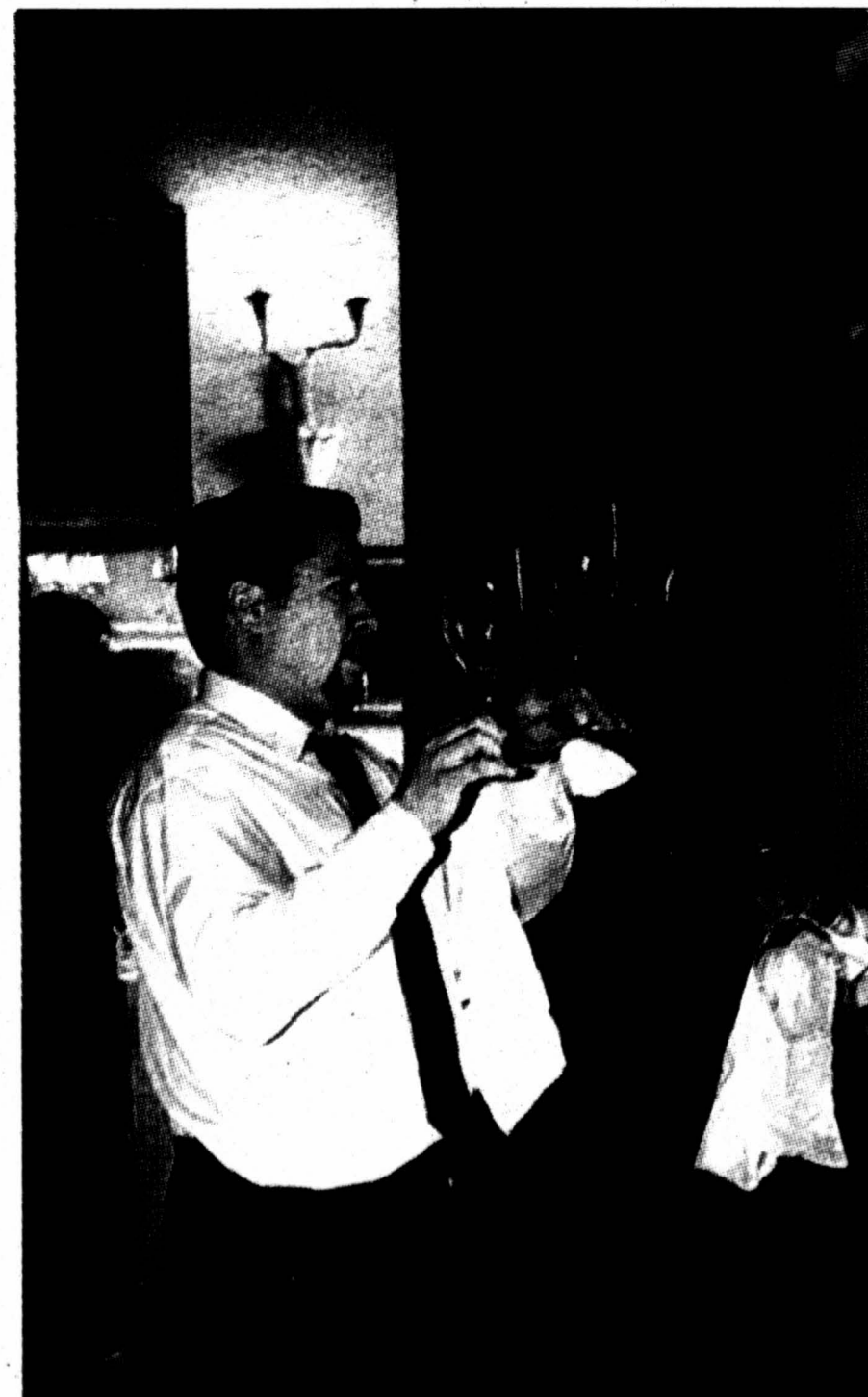
HOME ELEVATOR, INC.

1-800-888-5267

www.acmehomeelevator.com

CA.LIC. #521967

NV.LIC. #0034377



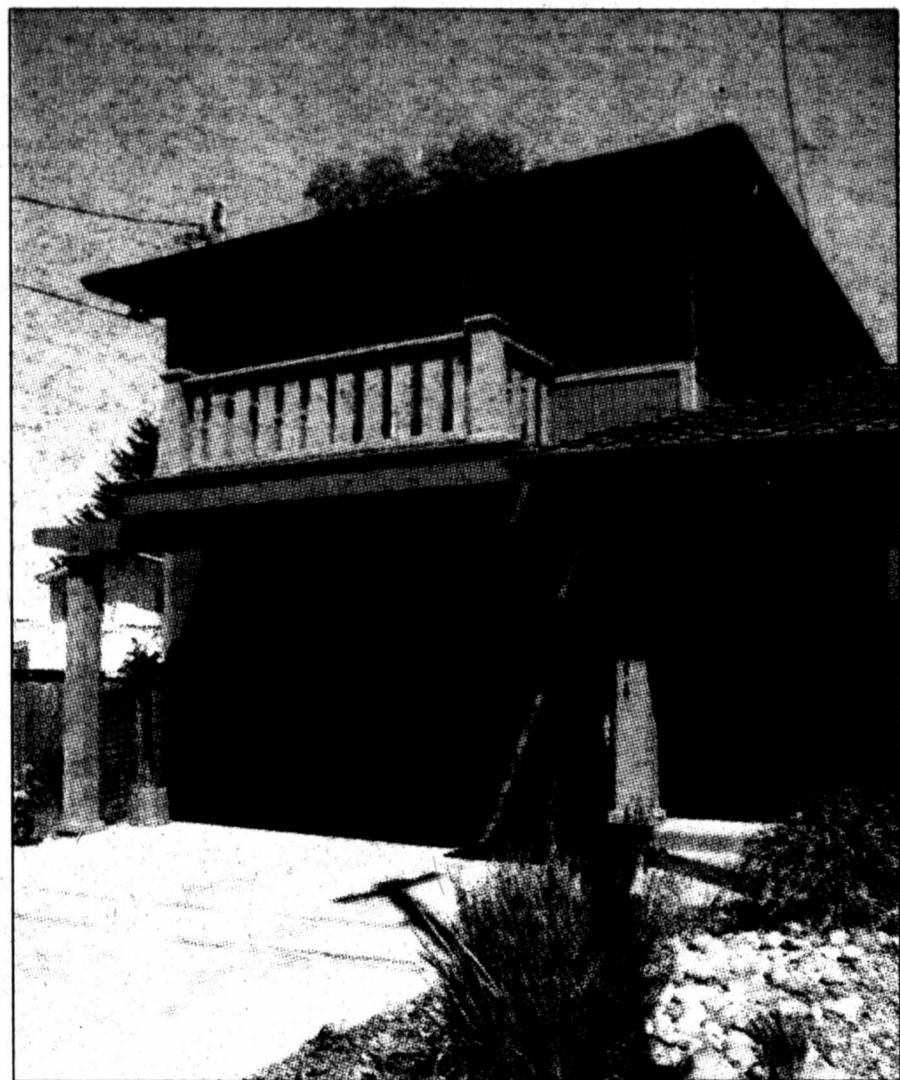
Bernabe de Luna's inspects the 528 wine glasses polished by his staff for the James House Rarities Wine Dinner. De Luna selected all the wines for this remarkable event.

FROM PAGE 10B

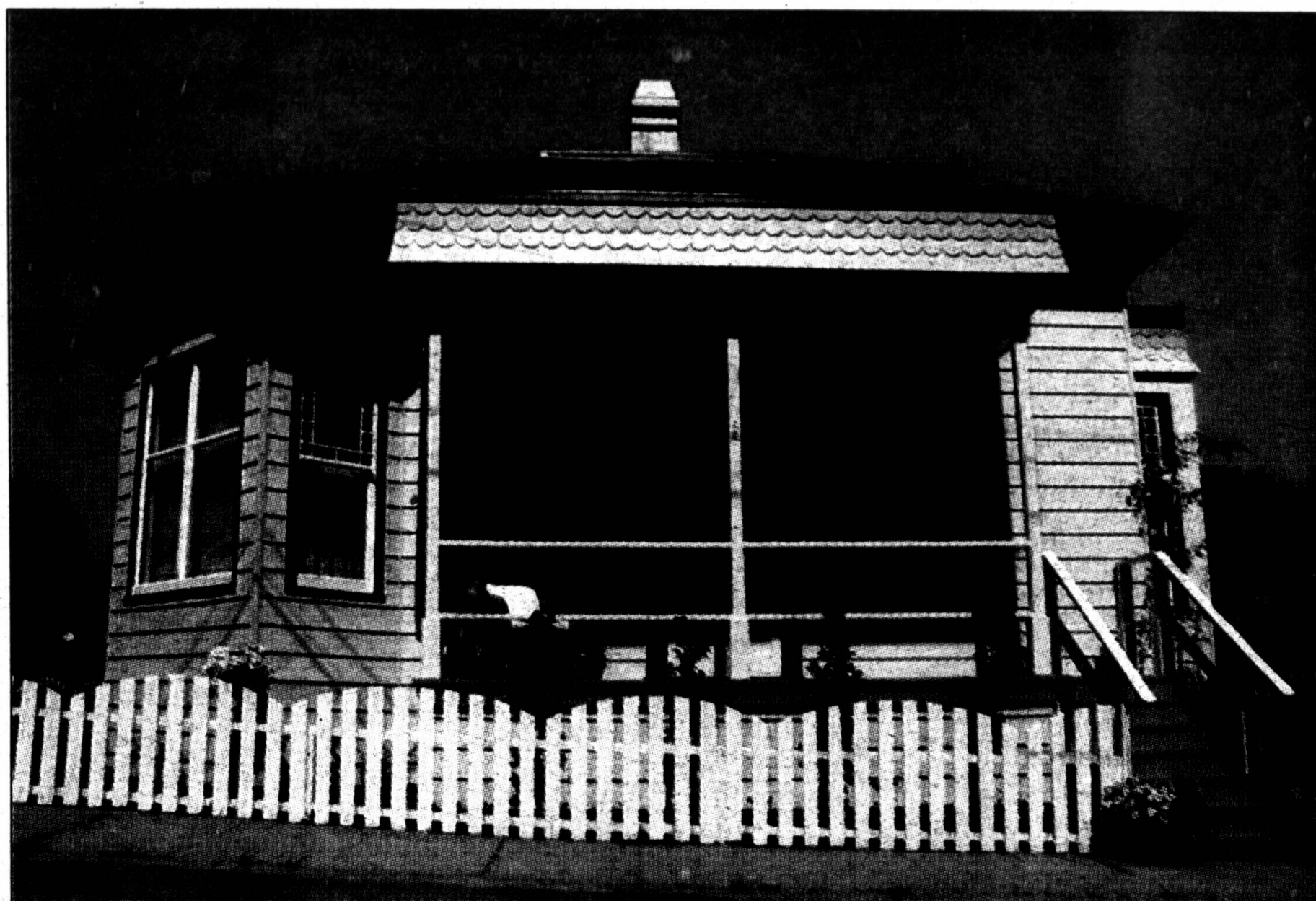
"The more different things we have the more interesting we'll be," said Troup.

From Main Street to Toon Town
The Crozier residence at 520 Ninth Street will no

CONTINUES ON NEXT PAGE



The Troup house on 8th Street, with its vivid red trim and front door, has an exterior that is positively demure compared to the kaleidoscope of color inside. For interior glimpses of this home, turn to page 7B.



Christine and Jeffrey Crozier transformed this turn-of-the-century home from a plain pink and grey exterior to a charming sunset — lemon yellow with green accents and gradations of terra cotta in the scalloped roof.



Coastal Villa... peaceful indoor/outdoor living at its best. Expansive gently terraced

flower-filled native gardens frame a dazzling ocean view! Three bedrooms, three baths. \$2,200,000.

Plum Perfect!

Vintage one bedroom one bath Pacific Grove Victorian. Street-to-street parcel affords enticing expansion possibilities. Great stroll to beach/treat/eat location. \$439,000.



Robin Aeschliman

www.robinaeschliman.com (831) 622-2511

Our new store is great. *but...* it's the people that make the difference!



It is old fashioned customer service, the best prices available in the industry, and our knowledgeable flooring experts that have made our growth possible.

Come in today! You'll love the great new showroom with hundreds of carpet, vinyl flooring, ceramic tile, and window treatment samples to choose from.

Meet our team of flooring experts. Back row Tui Tulau, Micah Pua, Bev McKeown, Joe Flores. Front row, Peter Lecce, and Frank Flores.



Carpet Caravan

Monterey Counties finest flooring center since 1985

877 Broadway (between Del Monte & Fremont Blvd.) Seaside 372-2700 or 394-2700 Monday-Friday 9am-5pm, Saturday 10am-4pm

Sleepy Hollow



In the heart of Carmel Valley and nestled in the majestic Santa Lucia mountain range is a sunny paradise known as Sleepy Hollow. Behind its gated entrance is an exceptional five-acre property which features a warm and gracious country farmhouse. French doors open onto covered porches and patios where sweeping lawns, arbors and commanding oaks beckon one outdoors to enjoy the lovely pool and beautifully landscaped gardens. This four bedroom, four and one half bath country farmhouse offers a state of the art kitchen, four fireplaces, hickory and pecan pegged floors throughout and a three car detached garage. Every room in this casual but elegantly restored home has a restful mountain or valley view. In addition to the gracious main residence, the home features a charming two bedroom/one bath guesthouse, a freestanding wine cellar and tasting deck, a koi pond, a well, an expansive recreational barn and pasture area. **\$3,850,000**



Carmel Cottage

Mid-20th century Carmel cottage nestled within an enchanted garden welcomes you home to enjoy the ultimate Carmel lifestyle. Completely restored to the present owner's exacting standards. Three bedrooms, two bathrooms, spacious living room with Carmel

stone fireplace, dining room, gourmet kitchen with 36" professional Viking Range, Sub Zero refrigerator and Bosch dishwasher. Enjoy Al Fresco dining on the rear brick terrace. 2-1/4 gated & fenced Carmel lots. Life just got better. **\$1,395,000**

Carmel at Point Lobos



This incomparable and rare property consists of 2.5+ wooded pine and oak acres with views of Carmel Bay and Pebble Beach. First time ever on the market. It has been in the same family for 102 years. Surrounded by California State Park lands, it is gently sloped with several superb building sites. Utilities are to the lot and a new well is in... All ready to build your dream home, guest house, stables or whatever. **\$1,350,000**



THE MITCHELL GROUP

Bill & Vicki Mitchell (831) 620-6314

Lynn Brown (831) 620-6339

www.mitchellgroup.com

FROM PREVIOUS PAGE

doubt inspire fans of the color yellow.

Christine and Jeffrey Crozier transformed the turn-of-the-century home from a plain pink and gray exterior.

"It was kind of cold and dreary and we needed to brighten it up," said Christine Crozier.

She undoubtedly has achieved that, with the house's exterior a lemon yellow with green accents. But it's the scalloped shingles that trim the house and set it off, with gradations of terra cottas that blend into the color scheme as a whole. It looks like a sunset.

Crozier says she wanted to have some warmer colors than just the yellow and green and just started playing around with color chips until she came up with

her unique blend of terra cottas.

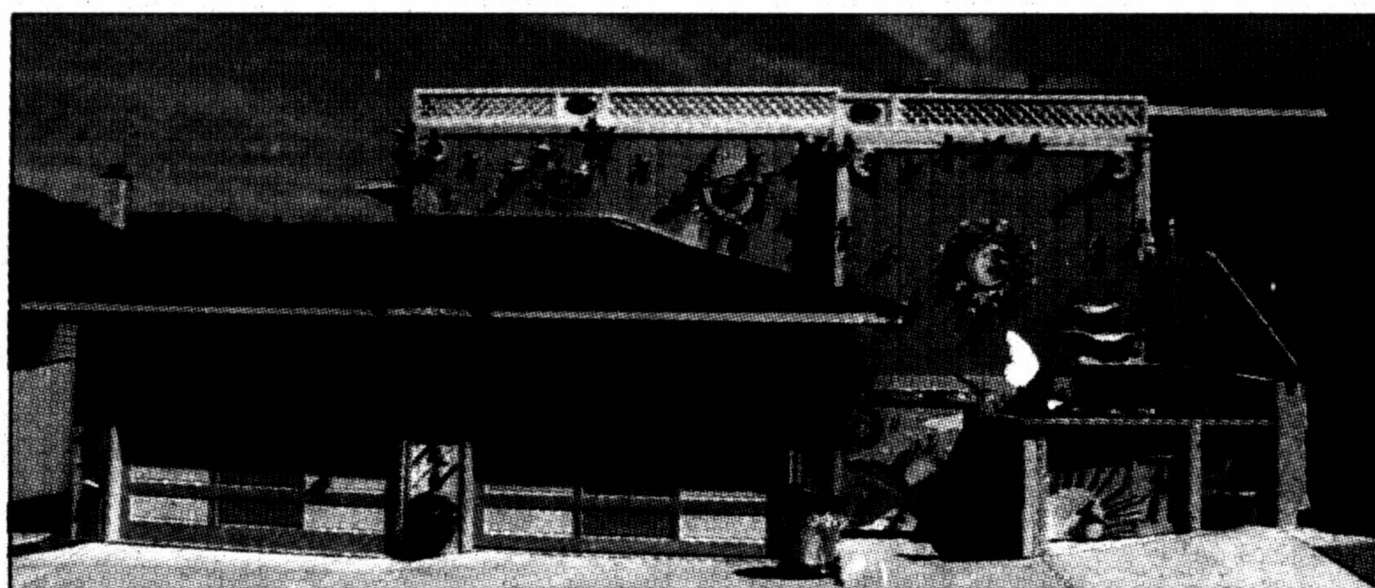
"It was very intuitive," she said.

Crozier is a painter and board member of the Carmel Art Festival. She and her husband were inspired by Swedish muralist and watercolorist Carl Larsson to decorate the inside of their house in a Swedish country home style. They wanted a down home feel to the outside too, but then went in a different direction the more she fooled around with color.

"We thought we'd go Main Street Disneyland and then we forgot that and went straight to Toon Town," she said.

Most people's reactions are positive, with lots of people who go by smiling, laughing and honking their horns.

"I'm a painter. I'm an artist. You just can't have enough color," Crozier said. ☺



J Jackson sends his handmade butterflies as gifts to people from around the country who have visited his unique home in Pacific Grove.

Jackson's sun and moon gate was inspired by aboriginal art of Australia. It took him a few hours of painting each day for a month to complete the large flower pot in the front yard.



ANNOUNCE BABY'S ARRIVAL !

with our

6 Ft. Tall Stork in Your Yard

Personalized Bundle of Joy with baby's name, birthdate, weight & length (yours to keep)

Call 831-754-BABY

www.stork-ladies.com

the STORK LADIES

We'll Deliver... When You Deliver

A Stork Rental makes a Perfect Gift!
Great for Baby Showers & New Grandparents Too!

Serving the Monterey County area • A delivery charge may apply in some areas
• Sorry, we cannot deliver to apartments

POLICE LOG

From page 11B

Carmel-by-the-Sea: Monterey PD requested check for possible hit and run vehicle. Unable to locate.

Carmel-by-the-Sea: Served court order on Mission near Third.

Carmel-by-the-Sea: Report of a vehicle parked in a driveway on Camino Real and the homeowner does not know who the vehicle belongs to. After checking it was discovered the vehicle belongs to the gardener of the property. No further action needed.

Carmel-by-the-Sea: Dog at large at Carmel Plaza. Dog taken to police station, where owner picked it up.

Carmel-by-the-Sea: Report of missing property on Monte Verde. After search of a storage area, the missing items turned up.

Pebble Beach: Unknown persons vandalized a mailbox on Stevenson Dr.

Carmel Valley: Resident of Village Dr. reported a neighbor painted some markings on his side of the property line.

Carmel area: 911 hangup from Carpenter Street. Deputy responded; everything was fine.

Carmel Valley: Resident turned in a ring that had been found in the area of Carmel Valley Road and Pilot Road.

Carmel Valley: Man reported that another man threw hot coffee at him during a confrontation.

Carmel Valley: A mother on Live Oak Lane reported her 13-year-old daughter was receiving e-mails offers for sexually explicit materials. Offers carried a caveat for adults only and required a response from the addressee. Thus it appeared that no crime had been committed.

Pebble Beach: Possible child abuse between mother and son reported.

THURSDAY, JUNE 7

Carmel-by-the-Sea: Patron reported leav-

ing restaurant under the influence. Contact made, field tests given. She was not a danger to herself. Taxi called for transport to Monterey.

Carmel-by-the-Sea: Man at Carpenter near Second suffered a lower back injury while at work on May 30. He has been to a physician at Urgent Care in Monterey for treatment. Tonight he was suffering from severe pain and spasms in his lower back/leg. Transported to CHOMP.

Carmel-by-the-Sea: Report of three juveniles loitering in area of San Antonio and 12th in violation of curfew. Area check made, unable to locate. Two other subjects contacted at Del Mar were found to be adults.

Carmel-by-the-Sea: Report of something burning next to front door of residence on Monte Verde near 13th. Officer arrived at location and found an unattended barbecue. The residence appeared to be unoccupied and secure so the barbecue was extinguished. Later, a man was contacted at the residence in regards to suspicious use of a barbecue. He is the son of the homeowner who is at their

other home in Montana. He stated that he had caught a fresh rock cod and could not wait to take it home to cook it, so he used his parents' barbecue.

Carmel-by-the-Sea: Complaint of a construction vehicle blocking traffic on Torres near 4th. Contacted owner who agreed to move it.

Carmel-by-the-Sea: Request that a man be warned about trespassing at a private residence on Scenic near Ocean. Man said he had planned a party at the residence (and had made fliers) but would move the party to Carmel Beach. He stated that he would not be on the property again.

Carmel-by-the-Sea: Request from Red Cross to have two vehicle's moved from in front of their building for today's blood drive.

Carmel-by-the-Sea: Report of a possible suspect in two bank robberies at Comerica Bank.

Carmel-by-the-Sea: One beach fire extin-

See **POLICE LOG** page 51B

Leather Elegance



Outstanding Selection of Leather Furnishings

Come in and see our exceptional selection of fine leather furniture and more

485 LIGHTHOUSE AVE. • MONTEREY • 649-1977

Hours: Mon. - Sat. 10-5:30 • Sun. 12-4



MUM'S PLACE



Fine Furnishings for the Home & Office

Choose from a large selection of popular styles from cottage to contemporary.

246 FOREST AVE. • PACIFIC GROVE • 372-6250

Hours: Mon. - Sat. 10-5:30 • Sun. 12-5

Hazara
DESIGNER COLLECTION

**Largest Dealer
in Vegetable Dye
Rugs on the
Central Coast**

**Custom
Handmade
Rugs also
available**

If you're looking for an
Oriental Rug for the home or
office visit us at Hazara Loom

• Rug pads also available
• Professional wash & repair

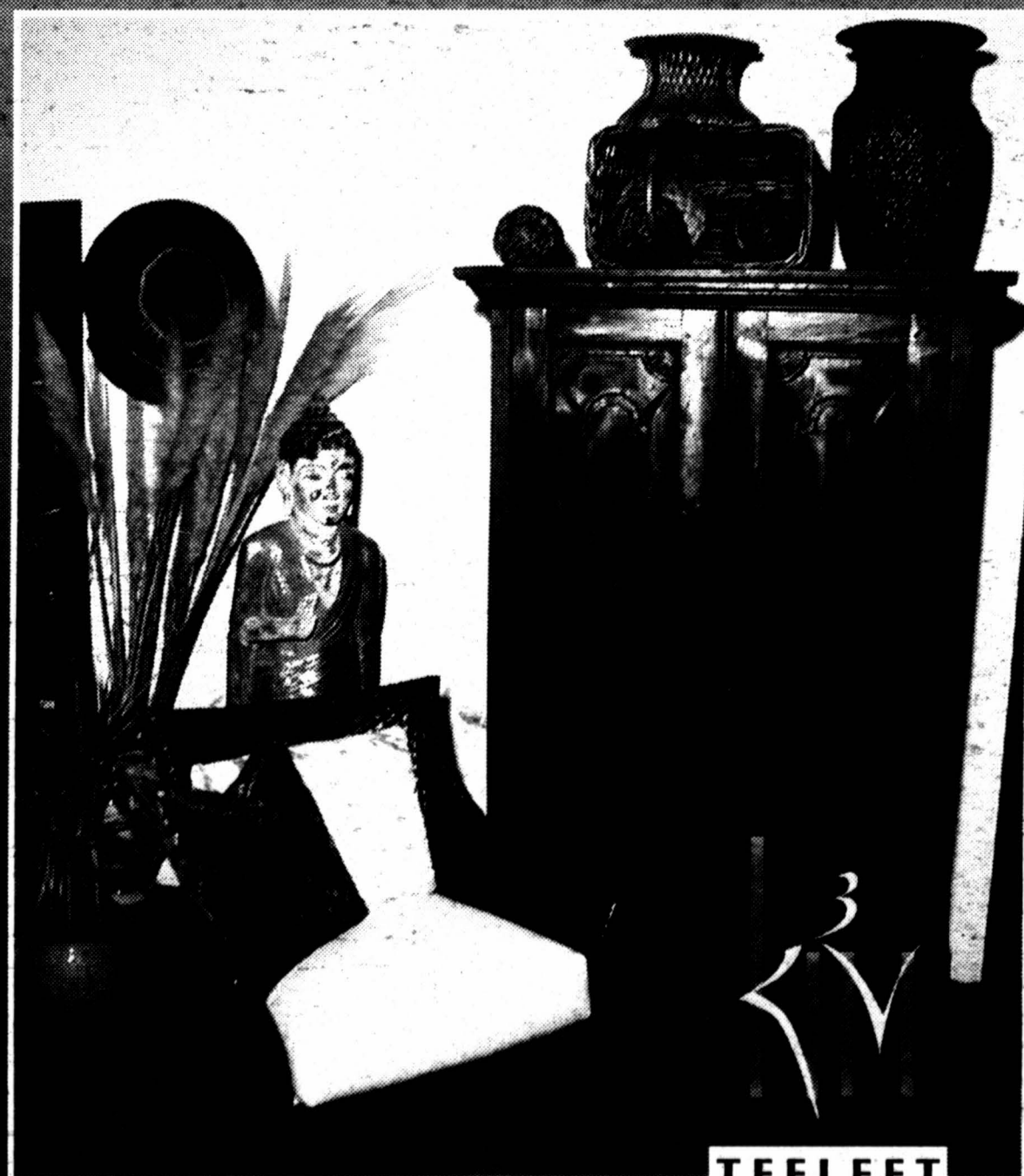
**Coming soon -
Quality Handmade Furniture
from our own factories**

551 LIGHTHOUSE AVENUE
PACIFIC GROVE

(Across from Holman Building
between Fountain and Grand)

831.647.1686

New Arrivals!
Unique Indonesian Furnishings
A few miles away, a world apart.



TEELEET

25 Pilot Road in Carmel Valley Village, 831-659-1360
Monday - Saturday 10am to 6pm • Sunday 11am to 5pm

4 CALIFORNIA SHOWROOMS

KIM ASIAN ART
& ANTIQUES
West Hollywood
310-879-4844

KIM GALLERY &
DESIGN SHOWROOM
Montecito
805-767-2999

ONE WORLD WIDE
ANTIQUES
Santa Barbara
805-966-0803

KIM INTERNATIONAL
FURNISHINGS
Santa Barbara
805-966-0939

TO THE TRADE AND OPEN TO THE PUBLIC

WWW.KIM3.COM

IN YOUR DREAMS

HOW TO GAIN PRIVACY WITHOUT LOSING THE VIEW

Dear Mr. Williams:

I recently bought a wonderful 3-bedroom cottage in Carmel that has a lot of smaller sashed windows with mullions and deep sills in the bedrooms and large, floor to ceiling windows in the living room, dining room and den. The views from the bedrooms are of the surrounding forest and, on one side, the house next door. I also have a small office area off my bedroom with windows on three sides. I don't want to cover those windows but need something to darken the bedroom. The larger windows look over Pt. Lobos and the bay. In each instance I desire a certain amount of privacy from the neighbors but don't want to compromise the views. How do I proceed?

Sincerely, Norma Parkinson

Dear Mrs. Parkinson:

What a delightful dilemma. It sounds as if the house was expanded at one time and with two different styles of architecture. Although the styles are different there are many ways to dress the windows to allow light and still achieve privacy. In the bedrooms you might consider small pleated shades that offer privacy and light control with a tiny profile at the top of the window. Quite often shades of this type are installed inside the frame and take

up about 1" at the top of the window when raised. The shades, when lowered, are available in a plethora of colors and darkening levels. In the past, shades of this sort



Large windows facing the ocean bring in the wonderful view and light, but the glare from the ocean is very hard on eyes and should be controlled.

were available only with a very long and obtrusive pull assembly. Today most of the manufacturers offer a clutch mechanism with a continuous pull that is generally only about 8" to 10" long. For greater ease, you might also consider electric remote control to raise and lower the shades.

With shades or blinds in place it is a simple matter to dress above the window with valances or cornices. Your choice of style and material will dictate how best to finish the surround. Whatever you chose should barely cover the top of the opening to conceal whatever hard treatment is in the window proper. If you chose to add stationary panels on either side of the opening it might be a good idea to take them to the sill only and not to the floor. As with the top treatment the side panels should just cover the edge of the opening to allow the most light possible. Small tiebacks are another good addition. If you decide to add



Tom Williams

Carmel Kitchens & Baths

26336 Carmel Rancho Lane, Carmel (831) 624-4667 • At the Entrance to the Barnyard

The Hand Maden
For All Your Sewing Needs

Finest selection of fabrics & sewing machines on the Central Coast

MACHINES FOR EVERY BUDGET & SEWING NEED

Husqvarna VIKING

SEWING MACHINES

STARTING AT **\$199**

90 days same as cash O.A.C.

WHITE

Call for information about our classes.

Daisy School Machine Entry Level

Our experienced staff is here to assist you.

620 Lighthouse Ave. at 17th • Pacific Grove 373-5353
Mon.-Sat. 10-5:30 • Sun. 10:30-4

THE TOUR PLAYS HERE.

KSRK AM 540 - Live Saturday 1-3PM & Sunday 1-4PM

Inspiring Ideas FOR INTERIORS

Shutters • Draperies
Blinds • Shades • Verticals
Valances • Bed Treatments
Accessories • Wallpaper
Complimentary Shop-at-Home Services
... And much more!

B Designs
CUSTOM INTERIORS

Tues. - Sat. 10:00am - 5:00pm
Monterey County's Hunter Douglas Dealer
Interior Design Society Credentialed State Cert. #1746
488 Lighthouse Ave.
Monterey • (831) 655-2673



For a lighter look on the windows consider the new decorative rod sets available. It is best to have the drapery clear the windows completely when open.

have the drapery clear the windows completely when open. Be sure to consider the amount of space on either side of the window you will need to "stack back" the drapery. With sheers and casements a fullness of 3 times is often used. That means you will have 3 times the width of the opening in fabric on the window. Any less will look puny and cheap. This type of fabric doesn't require lining and therefore needs the extra fullness.

Window treatments are expensive and require yards and yards of fabric. The money is in the labor required to make the drapery. In general only a professional drapery workroom can create window treatments that drape beautifully and draw properly. Large tables are required

to measure properly and place either pleats or rings precisely. Fine, deep hems and headers as well as hand stitching and placement of trim can't be done properly in a small workspace.

Although you have a large choice in style, fabric, trim and hardware don't let it deter you from the ultimate goal of bringing the outside in while preserving a modicum of privacy. By all means have fun with the project and the choices. ☼

Tom Williams is a partner at Hale-Williams Interiors at The Crossroads Shopping Village, Carmel. He has practiced interior design for more than 30 years in America and abroad. Tom welcomes your design questions at Design@Hale-Williams.com or 625-6070.

trim to the valance and drapery, a matching tieback from the same trim collection is a great finishing touch.

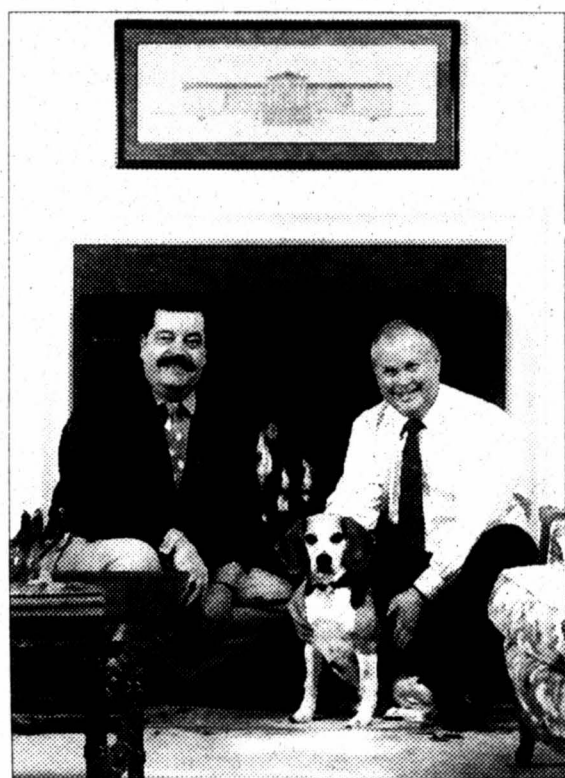
For your office area don't be afraid to install a double-sided draw drapery. This gives you the option of using a lovely print on one side and maybe a solid color on the other. This treatment should be interlined to achieve the most effective light control and to add a wonderful full feel. When open the drapery will frame the windows in the office and when closed will give you the darkening and privacy you want. It will also allow you to work when another is sleeping.

The windows in the other part of the house present a completely different set of challenges. Large windows facing the ocean bring in the wonderful view and light. At the same time the afternoon sun is very strong and causes damage to fabrics and eyes. One of the first things to consider is how often you might want to block the light completely. In the afternoon glare is the enemy. The glare from the ocean is very hard on eyes and should be controlled. The choice in window coverings and styles is huge. Design professionals have at their fingertips a wealth of sheer, semi-sheer and casement fabrics in every style and thickness. Fiber contents range from all man-made to cotton, wool and linen combinations. Unless you want to replace the drapery every few years avoid anything with silk as part of the content. The UV rays in the western sun destroy silk and damage almost all fabrics. The style of the room will dictate whether to use a print or patterned weave. Another thought for this type of treatment is a seamless approach. Many of the listed fabrics are available in widths of 118" and above. When fabricated on end, called railroading, no seams are needed to drape the opening. A real benefit when covering large spaces.

For a lighter look on the windows consider the new decorative rod sets available in rod sizes as small as 5/8" diameter to over 3" and with a variety of finish colors and styles. As with the bedrooms you will probably want to

Discover the Finest in Shopping and Dining

Our Design is a Signature,
Not a Trademark



HALE-WILLIAMS INTERIORS

242 The Crossroads ↑ Carmel
(831) 625-6070

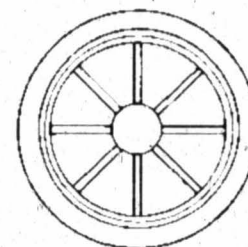
e-mail: design@hale-williams.com



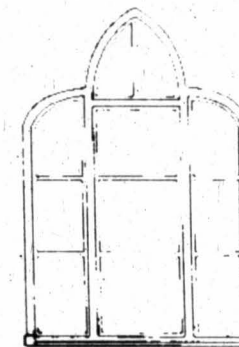
**THE CROSSROADS
SHOPPING VILLAGE**

Carmel, California • Highway 1 at Rio Road
OPEN DAILY • FREE PARKING
831.625.4106 • www.carmelcrossroads.com

**You Can
Go Round And Round
With Kolbe & Kolbe...**



**Or Get Straight
To The Point.**



Kolbe & Kolbe...ready to give you the best designed, built, architecturally correct special windows you can buy.



OUT OF THE WOODS INC.

831-424-9049



Kolbe & Kolbe Millwork Co., Inc.

38 YEARS
Serving the Community

Sunset PATIO SUPPLY

WINNER
"Retailer of the Year"

Fountains & Bird Baths

Garden Statuary

Moss Rock Boulders

Cobble Rock

Ground Cover Rock

Top Soil

Patio/Paving Stones

Masonry Materials

LARGE SELECTION • WE DELIVER

2160 Sunset Drive • Pacific Grove
At 17-Mile Drive Gate
831. 375.9501

SHEN'S GALLERY

Fine Antique Chinese Furnishings



Experience the exquisite quality of Shen's today...

2404 Mission Street, Santa Cruz 457-4422 Daily 10-6

1368 Pacific Avenue, Santa Cruz 457-4429 Daily 11-7

www.shensgallery.com



POPPLETON'S

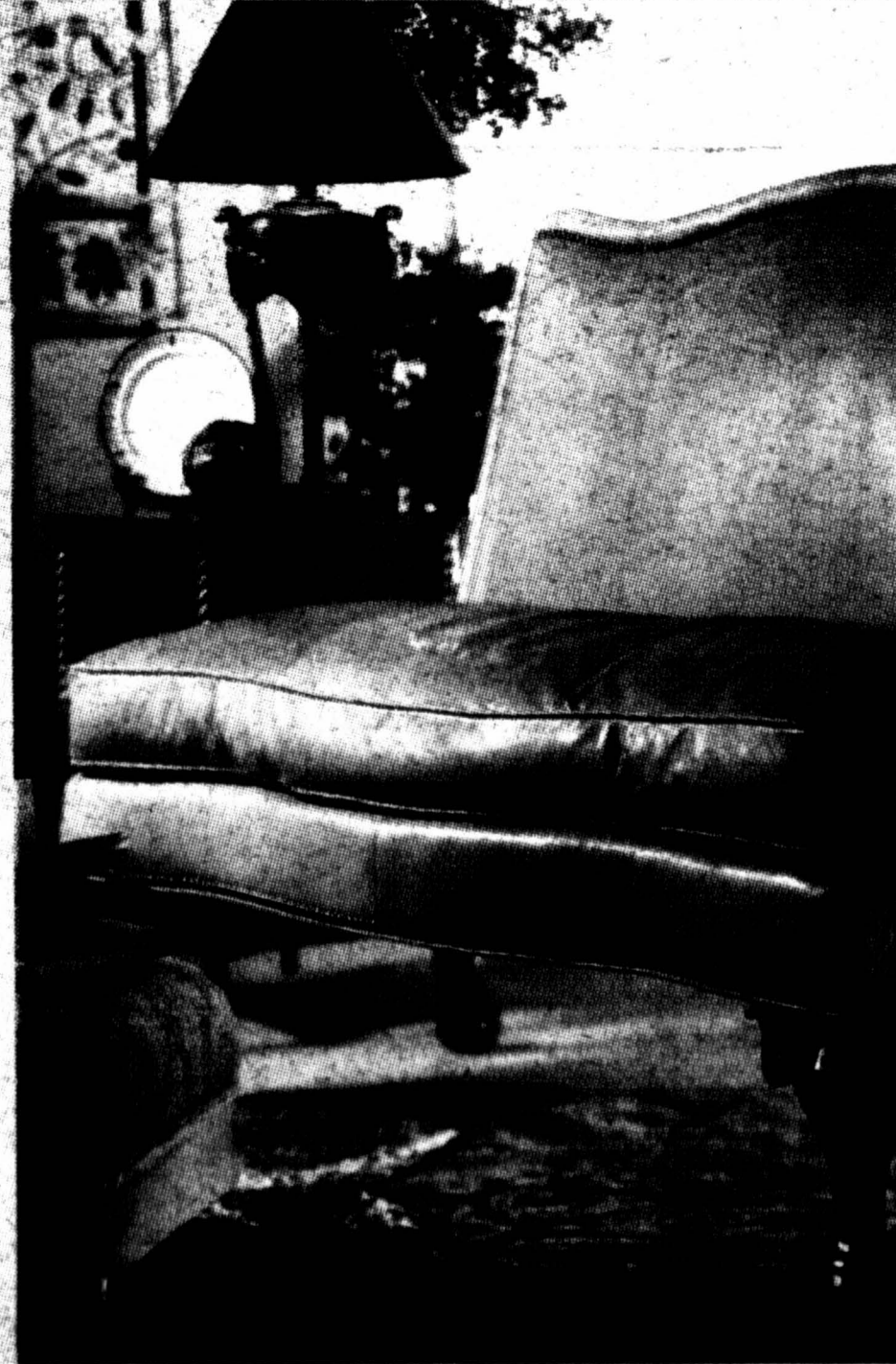

INTERIOR DESIGN & FURNISHINGS

Unique

www.poppletonhomes.com

Eclectic

Inspired



*Hand made
furniture
from small, select
manufacturers
throughout
the world!*

299 LIGHTHOUSE, MONTEREY 831-649-3083

In Your Dreams

WATER AS ART

How to use the
forbidden fruit
in your garden

ENGLISH POET William Wordsworth was known to savor the sounds of the streams in his extensive gardens so much that he would shift stones to create the perfect babbling brook.

Longtime landscape architect Dave McFadden — who specializes in building water gardens all over the county — can relate to such an aural appreciation: He has created everything from a tiny pond inside an art gallery to a half-acre water garden at the center of an apartment complex, and knows the sounds they make play an integral role in their design.

Even the singsong trickle of water can lure rarely glimpsed birds to a person's yard.

"Birds can hear running water from a mile away while in flight, so ponds are a super attraction for birds," McFadden said. "Ponds really attract rare, small birds that you never normally see."

An accomplished sculptor who especially enjoys working in marble, McFadden uses his artistic skills coupled with his experience



and education in landscape architecture to design gardens both simple and elaborate, depending on his clients' wishes.

"They're all unique and all have their own special challenges," he said. He derived the large pond in a Marina apartment complex from an ugly drainage area they hoped to mask and now the half-acre oasis serves both aesthetic and functional needs.

One Carmel resident wanted to sit in her yard and watch the waves crash on the beach below while also glimpsing cascading waterfalls close by.

Through inventive use of landscaping, rocks and a dependable pump, McFadden succeeded in getting the water to flow toward her favorite outdoor spot — uphill.

Although he has designed water gardens for more than 30 years, McFadden said he began building them himself about four years

See WATER page 26B

WATER

FROM PAGE 25B

ago after a client asked him if he would.

He is so enamored with what he calls "the hottest trend in landscaping" that he has ponds of his own at his Pacific Grove house, complete with a large number of koi gliding through the depths.

And while water gardens are economical — efficient pumps require little electricity, and ponds use one-tenth the amount of water required by a lawn of the same size, according to the designer — McFadden said it's important to

remember they are also living, breathing things requiring regular care.

"Ponds aren't just containers of water," he said. "They are ecosystems — little life centers where maybe the dog comes to get a drink of water, but there are also beneficial enzymes and bacteria, birds, fish and plants."

And for a water garden to thrive, it must replicate the real thing as closely as possible, according to McFadden.

"You have to recreate nature with various elements," he said.

Continues on page 46B



Water garden designer David McFadden rebuilt the steep hillside at a San Luis Avenue home in Carmel, using plants, stones and sculpture to unite the cascading waters and ponds throughout its stepped levels. Looking closely, a visitor can glimpse turtles, storks and even an alligator lurking amidst the plants and reeds.

Patrick's Consignment Store

Fine Home Furnishings & Accessories — Since 1988



Don't miss the Patrick's experience!

Dealer Collective
China • Books • Art
Estate & Costume Jewelry
Art Glass • Crystal
Antiques • Orientalia

105 Central Avenue
Pacific Grove
(1 blk. up from the Aquarium
and Cannery Row)

Hours: Mon.-Sat. 10-6 • Sun. 12-5
www.patricksconsign.com
e-mail: patrick@redshift.com

Phone: (831) 372-3995

CARMEL ART ASSOCIATION

FOUNDED 1927

73 Years of Local Art
On the Monterey Peninsula

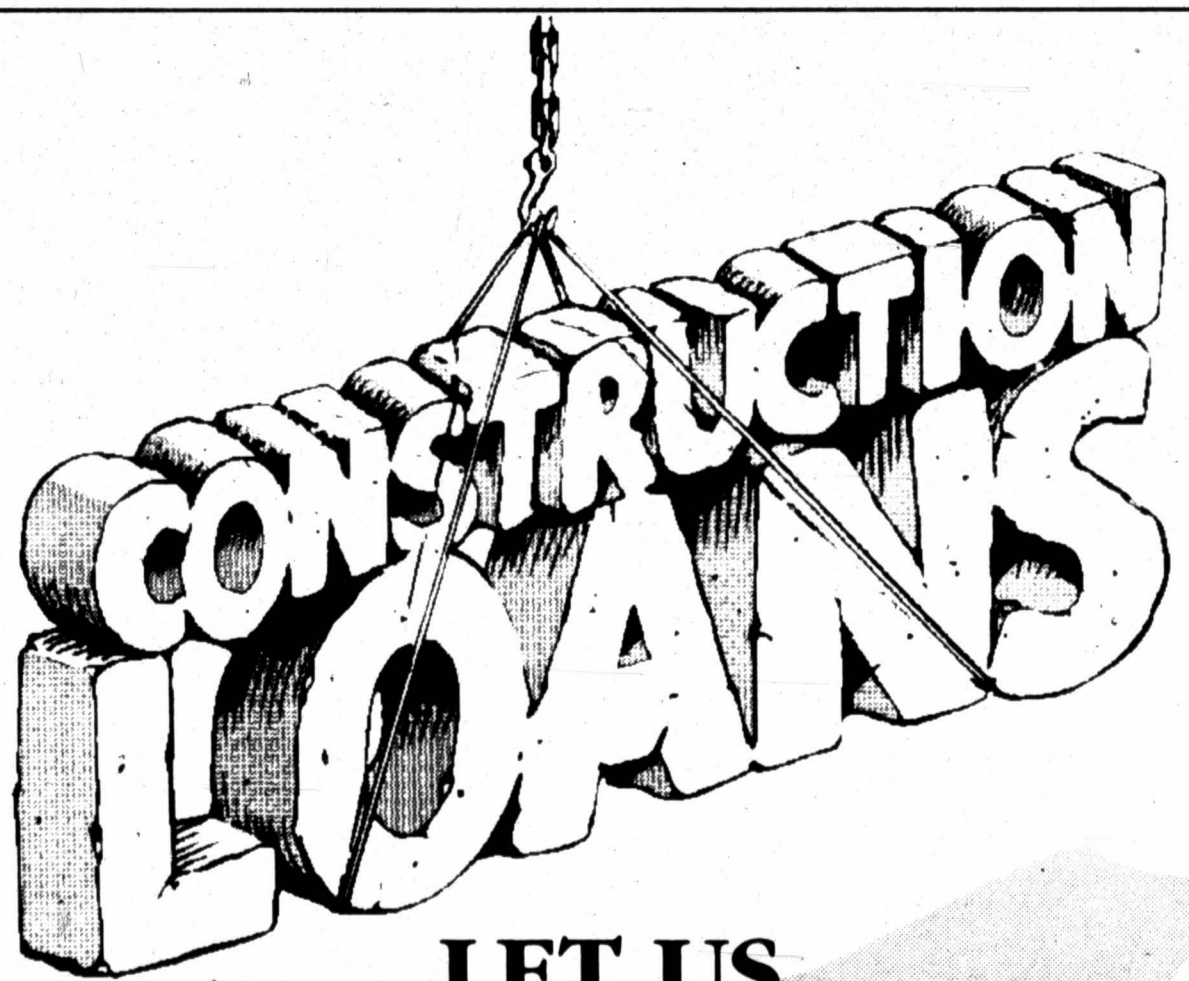
Voted Art Gallery of the Year
by the Carmel Business Association
for two consecutive years...

Situated in a beautiful garden setting,
Carmel's Oldest Gallery
features the work of over
120 local professional artists

Dolores Street between 5th & 6th
Carmel-by-the-Sea

OPEN DAILY 10 AM - 5 PM

(831) 624-6176



LET US
HELP YOU
BUILD A SOLID
FOUNDATION
FOR YOUR
FUTURE

FIRST NATIONAL BANK

Historically the Leader in Local Banking

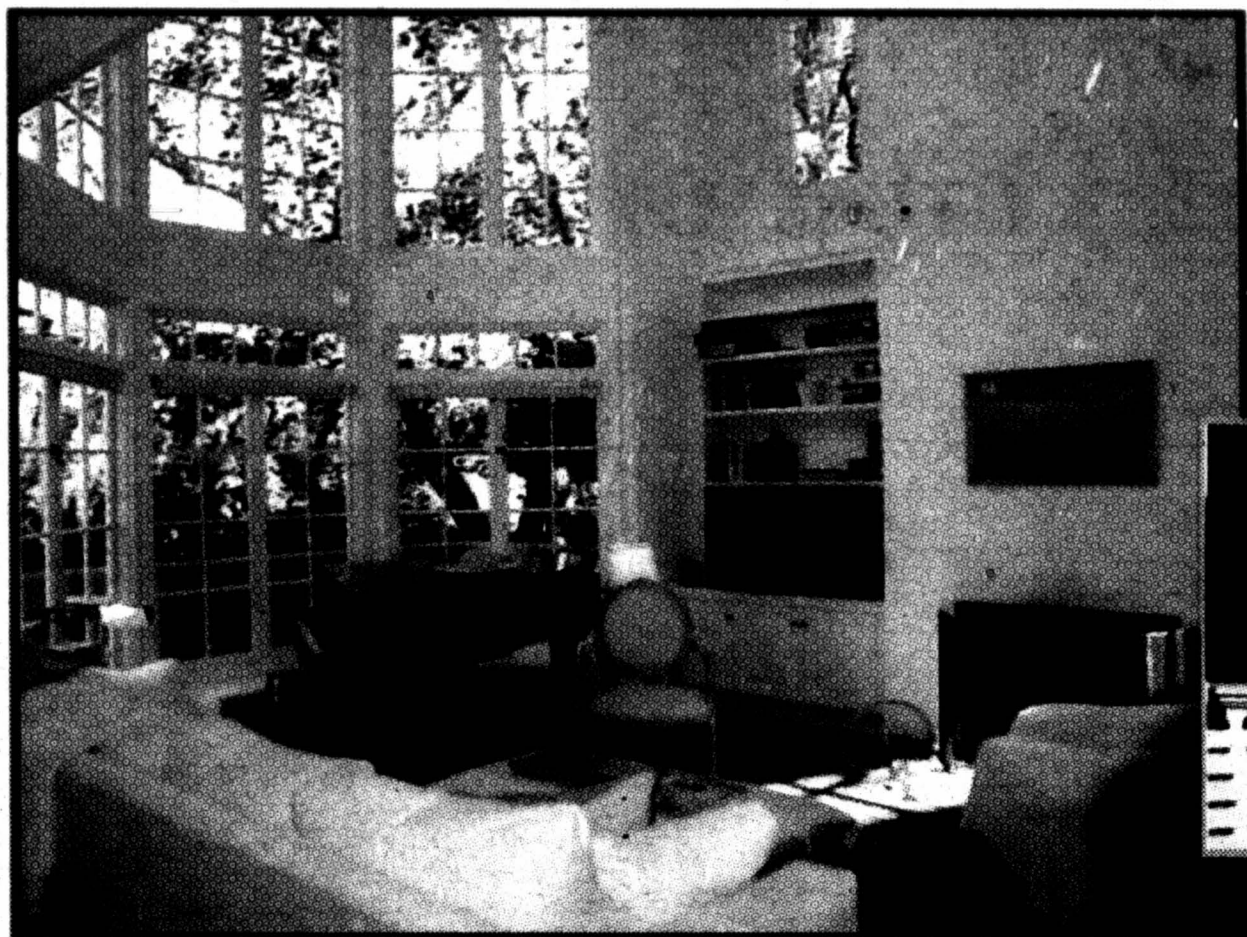
Monterey • Salinas • Carmel Rancho • Watsonville • Soledad



First National Bank of Central California
Member Federal Deposit Insurance Corporation

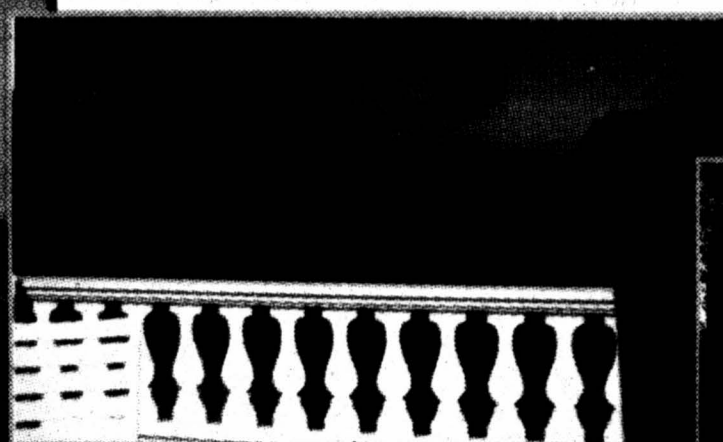
HALLIE MITCHELL DOW

REPRESENTING THE PENINSULA'S FINEST PROPERTIES



Carmel – the Ultimate Beach House!

This home could be the centerfold of Coastal Homes Magazine! On a quiet street, just two short blocks from Carmel Beach, and within walking distance of all the great shops and restaurants in town, this happy home is guaranteed to make you smile. Walls of windows let the light stream in all day long. Unique architectural details and clever use of space give the impression that this home is even larger than it is, with its 1800+ square feet of living space. This 15-year-old home, with three bedrooms and two and one-half baths is in tip-top condition. There's even a peek of the ocean! First time ever on the market. Call today! \$2,900,000



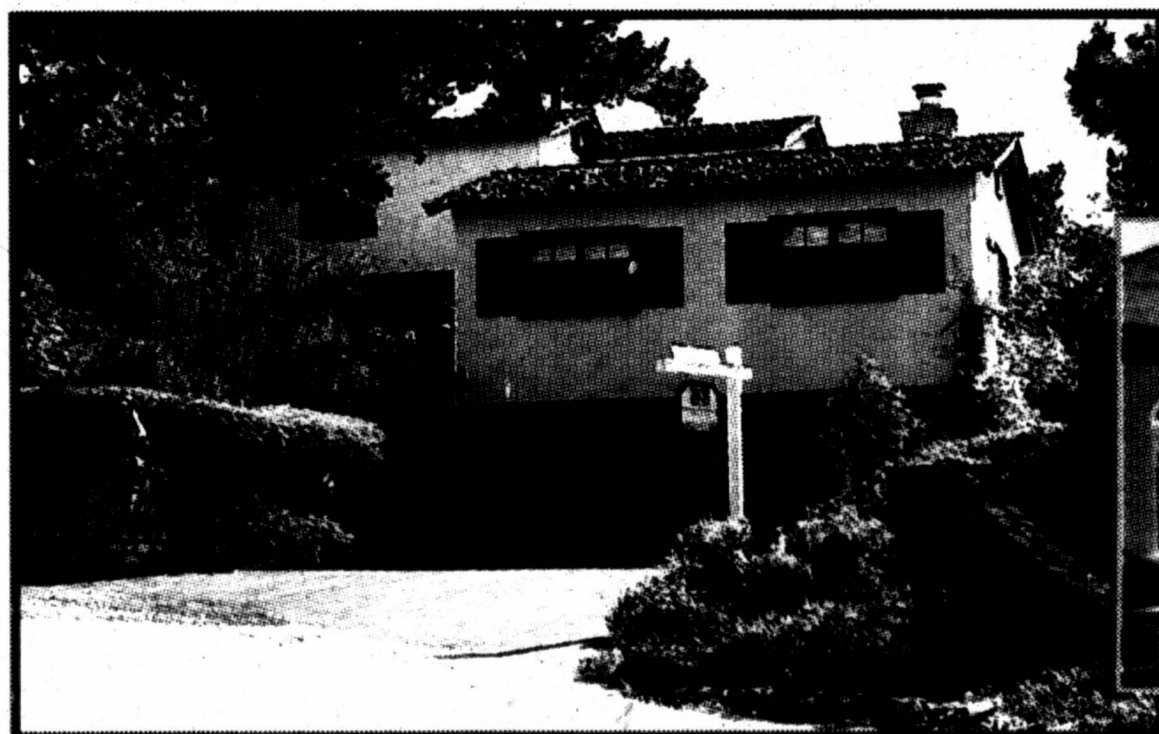
The Perfect Carmel Charmer!

On this home's report card there are only A-pluses! An A+ for location, an A+ for condition, and an A+ to the sellers for restoring it with great sensitivity to preserving its natural Carmel charm. On a double corner lot, south of Ocean Avenue and only two blocks from the beach, this two bedroom plus den/office (could be third bedroom), three bath home is flooded with light from the many skylights, windows and French doors throughout. Fir floors and a massive stone fireplace with mantle in the living room, formal dining room, light and bright new kitchen and bathrooms...everything about this home is cheery and cozy. The front brick patio, surrounded by lovely landscaping, captures the sunshine most of the day. The back yard has a big lawn and some beautiful oaks and a detached one car garage. An A+ all the way around! \$2,595,000.



A Carmel Classic Restored!

This Carmel classic was built in the late 20's by M.J. Murphy and lovingly restored by the current owners. There are hand-hewn beams, soaring ceilings, plaster walls, original hardware, hardwood floors, Carmel stone fireplaces...If there were a museum in which to display the quintessential Carmel home, this would be the masterpiece in it. A must see! \$1,695,000.



Carmel... Move In Today!

Remodeled from top to bottom in the last two years, this perfectly located Carmel home is in pristine condition. Located just a few short blocks south of Ocean Avenue and only two blocks to the beach. This two bedroom, two bath beauty has hardwood floors and soaring ceilings throughout, and lots of stunning new wood windows and doors. Living room with fireplace, dining room off the living room and adjacent to the kitchen is perfect for entertaining. Thoughtful architecture, incorporating several skylights, clerestory windows and French doors, providing access to the professionally landscaped gardens from every room, creates a light and bright atmosphere throughout the house. \$1,895,000.



Hallie Mitchell Dow
& Team 831-620-6312

hallie@mitchellgroup.com



Jamee Ashjian Moltini
831-620-6330
Incy Brooks 831-620-6301



www.mitchellgroup.com

VAN BRIGGLE FLOORS

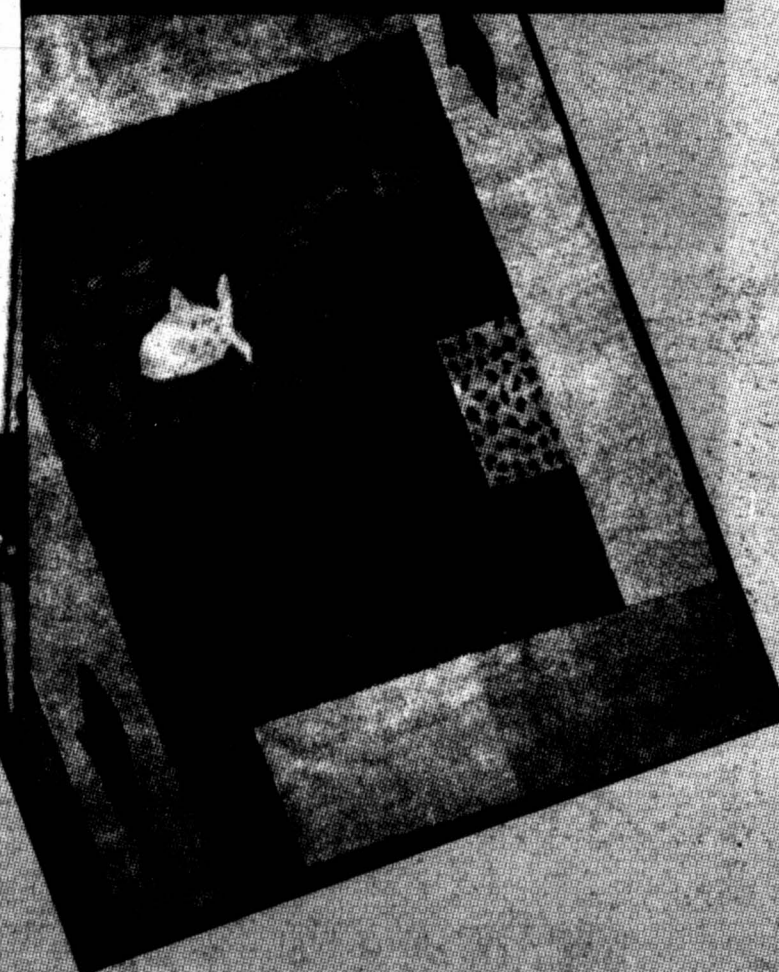
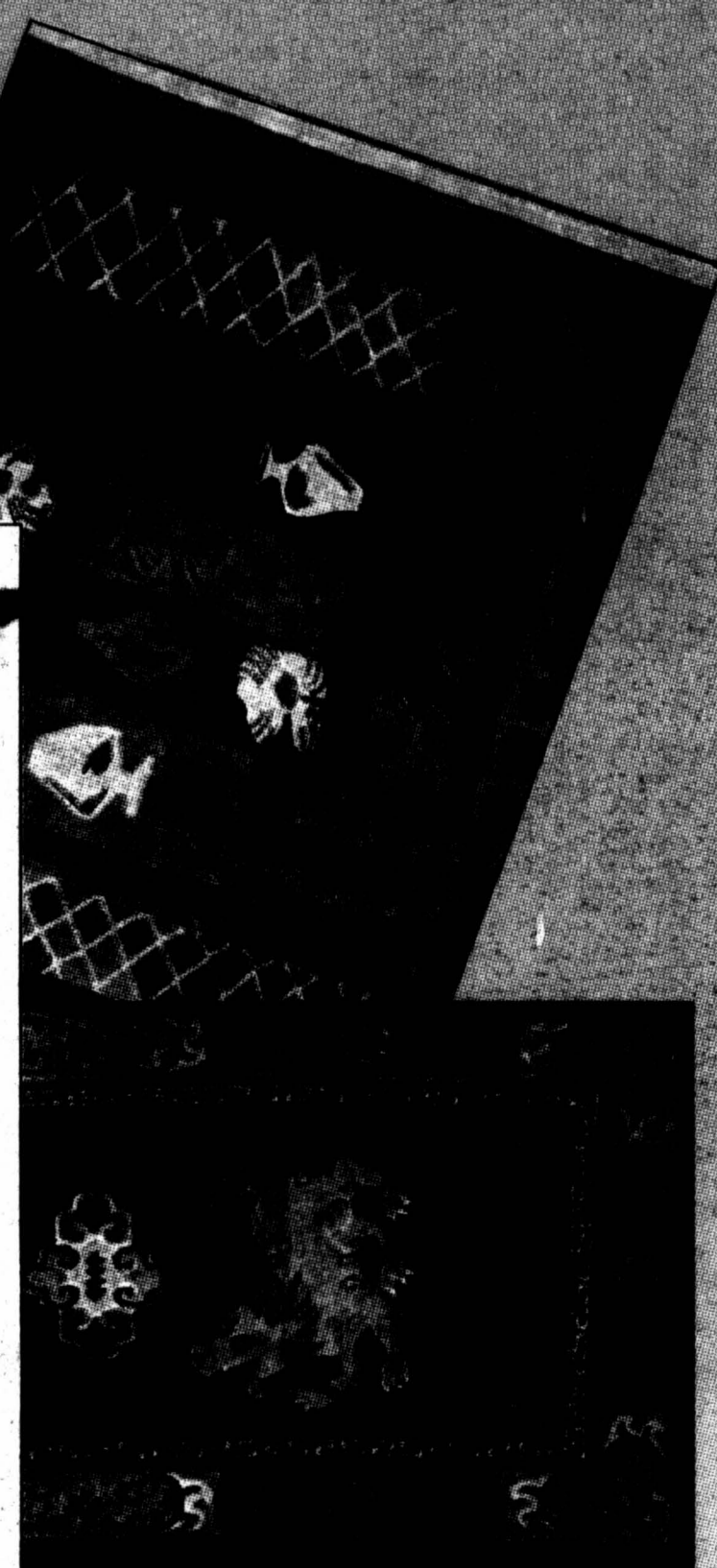
Invites you to a
Rug Weaving Exhibition

PRESENTED BY



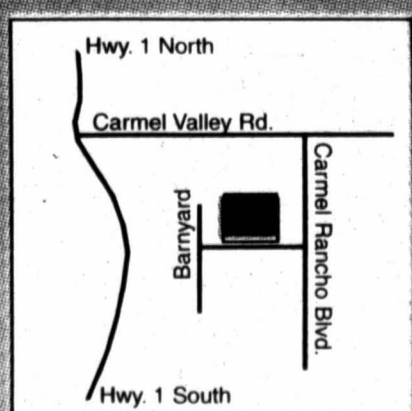
**Grand
 Opening
 Sale**

on all
AREA RUGS
 in stock
 or
 special
 orders



Imagine traveling thousands of miles
 to the back roads of Tibet and Nepal.
 Until now, this was the only way to see the
 ancient art of carpet weaving performed by hand.
 Now you can see for yourself the meticulous hand work,
 whereby knot by knot, row by row, the incredible
 designs of Tufenkian take shape and grow into
 consummate works of art for the home.

JUNE 23RD & 24TH
9 AM TO 5 PM



Carmel Rancho Shopping Center ♦ 26542 Carmel Rancho Blvd. ♦ (831) 622-0544

www.vanbrigglesfloors.com

From old world to contemporary, Elliott marries art to surroundings

Story and photos by MARGOT PETIT NICHOLS

THE NUMBER of artistic decisions Todd Elliott makes on any given business day would send others, less sure of themselves, over the edge; but it's all in a day's work for the gifted owner of Elliott Frame Design at the entrance to The Barnyard, Carmel.

Hundreds, if not thousands of possible combinations of frames, matting, matting covers, glass, Plexiglas and fillets (narrow strips of wood inserted between mat and artwork) exist for any given painting or print brought in to be readied for hanging.

This is where Todd Elliott shines: He studies the artwork, asks where it will be placed and the environment that will surround it — the type and color of the wall it

will grace, the flooring or carpeting that will be beneath it, the degree of light it will be exposed to, the style and

See ELLIOTT next page

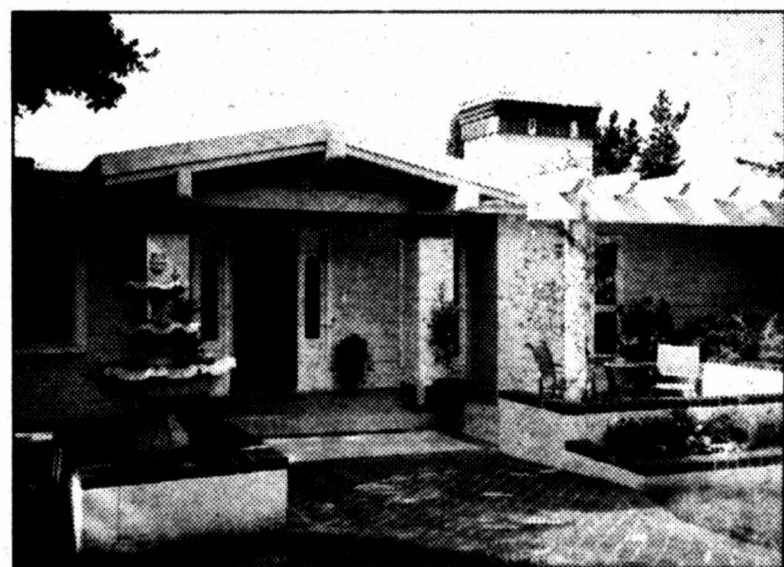


Patrick Hurst, manager of the Elliott Frame Design workshop, doubles as frame maker at the Garden Ave. facility in Monterey. Here he and Paula Elliott check specifications of a Todd Elliott design. Framing vices on the work table hold frame sides in place while they are joined together.



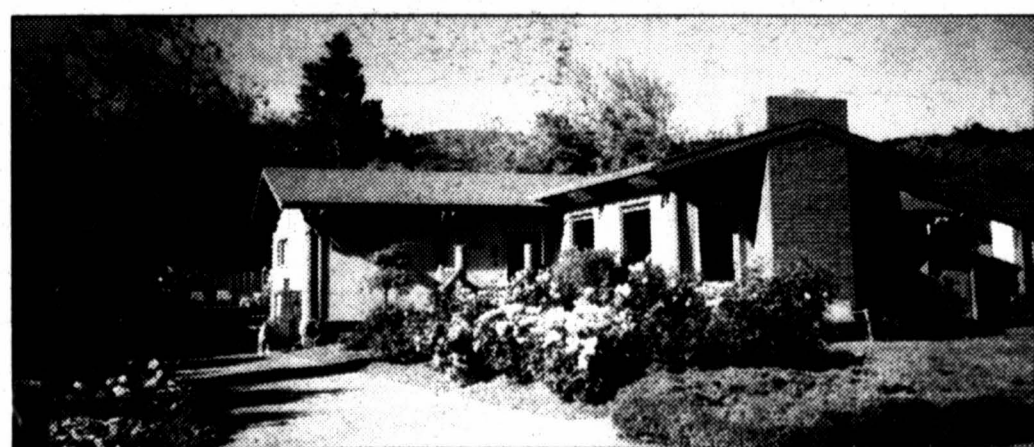
CARMEL VALLEY

Premiere Choices



Sensational!

Through the white-picket fence gate, glorious gardens with fountain will bedazzle your senses. An immaculate, exceptional 4-bedroom, 3-1/2-bath home with decorator touches throughout features beautiful hardwood floors and wood-framed windows. Sited on 3-1/4 acres with privacy guaranteed, plus never-ending Carmel Valley views. Treat yourself to this "picture perfect" property. \$1,295,000.



"Summer House"

...at Quail Lodge excites the senses and warms the heart! Natural cedar wood combined with sun-filled windows and skylights create a soft glow of serenity. A prize rose garden adds brilliant color and fragrant scent, while the firepit invites gaiety and laughter among friends. A home just a nine-iron to the Golf Course, a drop shot to the C.V. Racquet Club. This 3-bedroom, 2-bath home is a must see for those who enjoy life! \$1,250,000.

For more information contact:

Pat Parrish, (831) 622-4657

Junipero near 5th, Carmel



PEBBLE BEACH

The Residences at Spanish Bay!



With an unobstructed view down the 12th fairway of the Links, this 4-bedroom, 4-1/2-bath townhouse is an easy stroll to the beach and the amenities of the Inn at Spanish Bay. Softened contemporary design reveals skylit staircase and gallery/conversation area, chestnut floors, granite and marble surfaces, state-of-the-art kitchen, and a view retreat/exercise room off the master bedroom. \$2,850,000.

For more information contact:

Patricia Stewart, (831) 626-2257

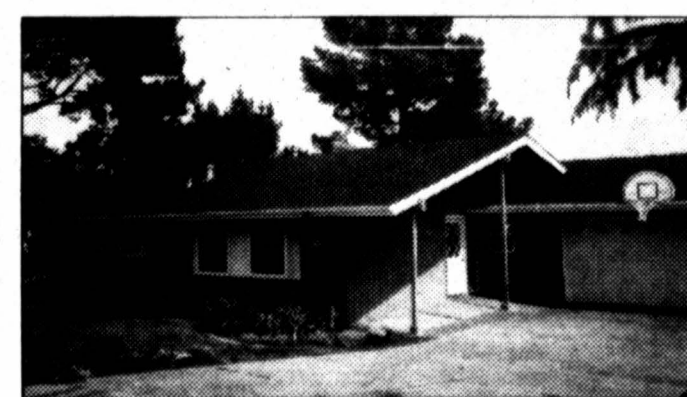
The Inn at Spanish Bay



CARMEL

Sparkling and Remodeled!

This bright and friendly home couldn't be more welcoming and comfortable! Spacious light and immaculate, open floor plan, beautiful outlook. The kitchen is smashing, and leads to a family room with built-in entertainment center. Three bedrooms, 2 baths, 2-car garage and large enclosed patio and yard. Many special features. \$719,000.



For more information contact:

Judy Lyle, (831) 622-4656

judylyle@mbay.net

Junipero near 5th, Carmel

ELLIOTT

FROM PAGE 30B

color tones of furniture, art objects and other paintings with which it will be combined. Sometimes he goes to the owner's home to see it all first hand. And then he has an instant vision.

Artists, writers, poets, architects sometimes have this comprehensive overview of the whole at the very outset of their endeavor — which later comes to fruition.

"That's the best part — seeing it all come together," he told The Pine Cone. He's excited about his work, although he's been at it for a number of years.

It began in his early youth on summer visits to his great-grandmother, artist Leonore Constable of Cambria, who frequently brought him to Carmel-by-the-Sea on painting trips. His grandfather framed the paintings — mostly seascapes — in a garage framing shop. Todd

watched, learned, and later helped. He developed a natural affinity for enhancing paintings. Now 96, Todd's great-grandmother is being honored with a retrospective of her oil and watercolor sea and landscapes in the old school house in Cambria.

His mother, Victoria Greene, also a painter who shows regularly in Cambria, specializes in seascapes, landscapes and French country scenes.

It follows, naturally, that Todd is married to an artist, too. Paula, born and raised in Finland, studied goldsmithing for six years before coming to the Peninsula. Todd and Paula met at his showroom when she came to have a painting framed. Married now for four years, Paula is working on her own jewelry collection at Concepts Gallery in Carmel and has her own work studio at Todd's warehouse.

Today, the 1,800-square-foot showrooms of Elliott Frame Design, located at 26362 Carmel Rancho Lane, Carmel, exhibit framed work completed for individual



Old world frames are created by Todd Elliott to set off compatible paintings in the very best light.

clients and for many of the 86 art galleries in Carmel. The finished work is ready for pick-up, or waiting for Todd to install in the settings for which they have been created.

The range of art is eclectic, and juxtaposition of modern with old world art and archival photographs adds to the showrooms' fascination.

"I get to see a lot of great art," Todd said.

A gigantic contemporary oil painting of four women executed in bold colors by Alexander Petrov takes up the best part of a wall in one of the showrooms. A dark-toned old world master-style painting of a child and her pet dog rests on an artist's easel, near the showroom entrance, waiting for just the right frame to be selected. Close by, a Lasov beach scene oil painting, in art deco style, is framed to perfection in a hand-carved, silver-leafed frame created for it by Joe Shabram, one of Todd's talented staff at the large workshop on Garden Road, Monterey — formerly studio of sculptor Richard McDonald.

The workshop is where it all comes together after Todd has selected the component parts for each framing job.

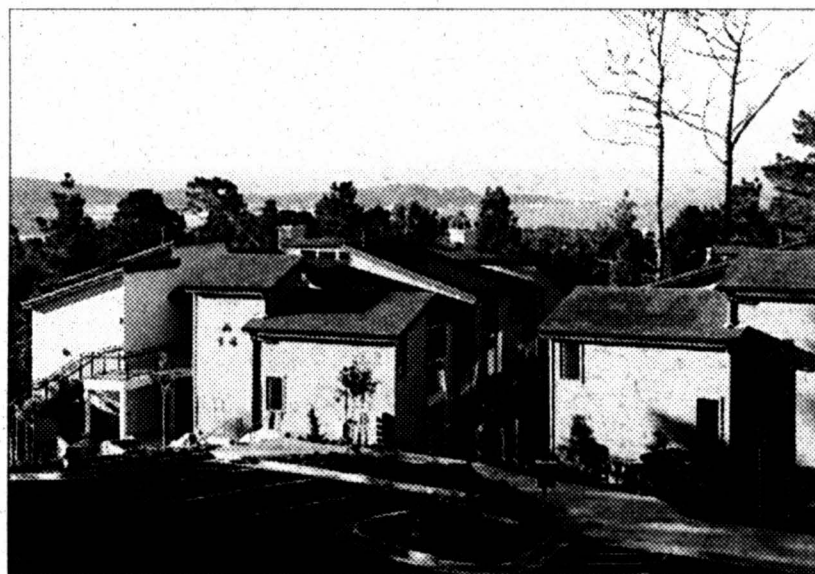
"We've all done some great things together," Todd says of his staff of four, and they say of him, "Todd's the best designer we've ever come across."

Continues on page 32B

NEW CARMEL CONDOS For Lease

Only A
Few Left

The Vistas at the High Meadow



24525 Outlook Drive, Carmel

Ocean & other spectacular views. Single level 2 & 3 bedroom, 2 bath units with fireplaces, balconies, elevators & garages. Ultimate living with serenity plus convenience.

Available Furnished or Unfurnished

CALL FOR VIEWING:
(831) 626-2622 / 646-1376

Discover the Finest in Shopping and Dining

Sandpiper Framing Co.

Quality Custom Framing &
Matting At Affordable Prices

- Unique Selection of Photo Frames
- Prints - Posters
- Home Accessories
- Needlework Our Specialty
- Custom Mirrors

624-0308

226 Crossroads Blvd., Carmel
Mayfair Court



THE CROSSROADS SHOPPING VILLAGE

Carmel, California • Highway 1 at Rio Road
OPEN DAILY • FREE PARKING
831.625.4106 • www.carmelcrossroads.com

SUMMER SALE - 30% OFF
Most merchandise & many accessories
Now until July 15

FERME et MANOIR FRENCH ANTIQUES

17th ~ 19th Century Period Furniture
Rustic to Refined

CARVED BY MAN...POLISHED BY TIME

New Hours: WED - FRI 12 - 6:00pm
SAT & SUN 11-6pm

9 Delfino Place • Carmel Valley

Tel 831 659 4610

Fax 831 659 4620



Bereman Carpets

CARPETS • VINYL • HARDWOOD
LAMINATES • WINDOW COVERINGS

6-MONTH "NO INTEREST" FINANCING

AREA RUGS - IN STOCK & SPECIAL ORDER

- Guaranteed Expert Installation
- Free Estimate In Your Home
- Evenings By Appointment
- Family Owned & Operated Since 1979

OPEN MON. - FRI. 9 - 5, SAT. 10 - 3

373-7759



TrustMark

VISIT OUR NEW SHOWROOM
1070 DEL MONTE AVE., MONTEREY
1 BLK. NORTH OF LAKE EL ESTERO

FORMICA

IN YOUR DREAMS



Paula Elliott in the Elliott Frame Design showroom, is an artist in her own right — a goldsmith who came to Carmel from Finland to practice her craft.

Pacific Coast FIREPLACE

GAS FIREPLACES
Do you feel the chill?

CONTRACTORS
Now you have a choice for your fireplace needs...

Specializing in
Service & Repair
Gas Log & Insert
Wood & Gas Stove
Built-In Fireplace
Installation
FREE ESTIMATE

1219 Forest Ave. • Forest Hill Plaza • Pacific Grove
(831) 658-0970
Your Home Town Fireplace Store
See Our Burning Units Live in Our Showroom

Regency FIREPLACE PRODUCTS

WATERFORD

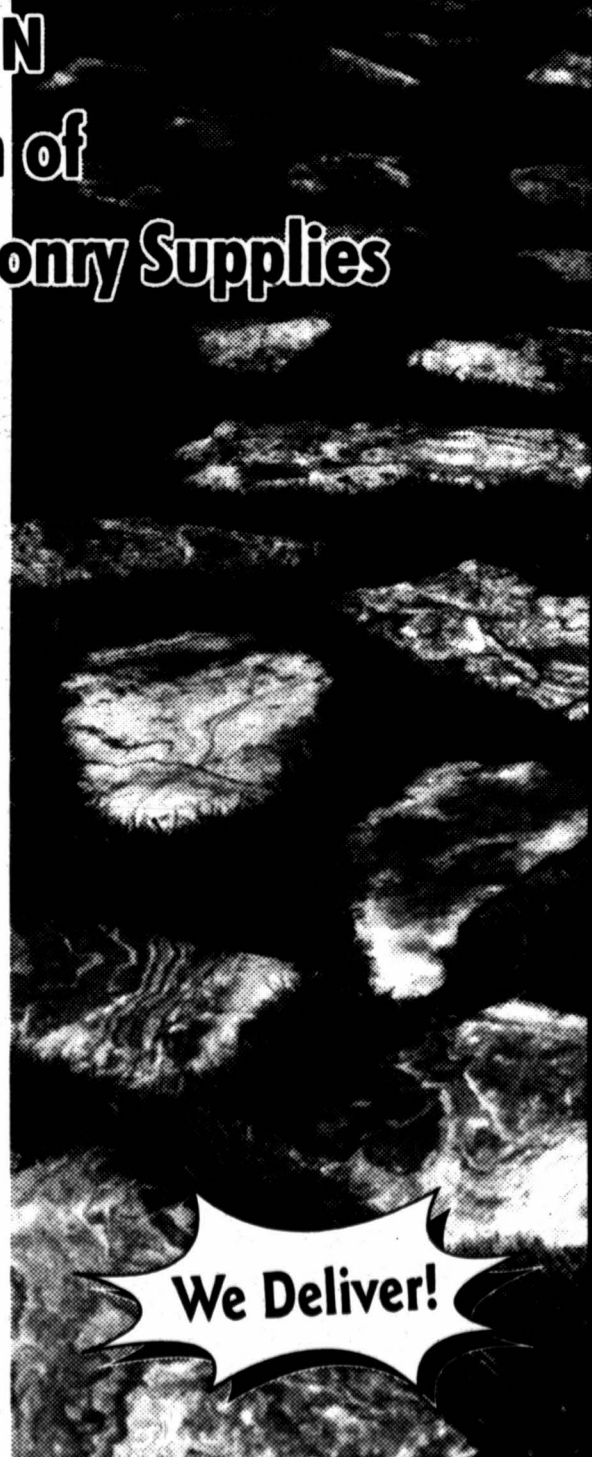
DECOROCK

THE PATH TO SUCCESSFUL LANDSCAPING!

Your **LOCAL CONNECTION**
to the **Largest Selection of**
Natural Stone and Masonry Supplies

Deco Rock Features:

- All Natural Building and Patio Stone
- Wide Variety of Natural Soils
- Barks & Aggregates
- Drainage/Erosion Products
- Retaining Walls from Allen Block & Keystone
- Landscape Architect and Contractor Referrals



We Deliver!

117 Monterey-Salinas Hwy. 68
(next to Graeber Gardens)
www.decorock.net

455-1369
Mon-Sat 7-5 Sun 10-4



Landscaping Supplies

Made from recycled yard and wood trimmings

Organic Mix	\$3/ton	N/A
Recovered organic materials & dirt	\$10 minimum per load	
Mulch	\$4/ton	\$2/bag
Ground yard trimmings, 3/4" and smaller	\$10 minimum per load	
Ground Cover	\$3/ton	N/A
Ground yard trimmings, 3/4" and larger	\$10 minimum per load	
Small Wood Chips	\$10/ton	\$2/bag
Ground wood trimmings, 3/4" and smaller	\$10 minimum per load	
Large Wood Chips	\$5/ton	N/A
Ground wood trimmings, 3/4" and larger	\$10 minimum per load	
Colored Wood Chips	\$100/ton	\$5/bag
Colored small wood chips	\$20 minimum per load	
Colors available: brown & red		
Top Soil Blend	\$35/ton	\$3/bag
Mix of sand (40%), humus (30%), and other organic material	\$10 minimum per load	
Compost	\$40/ton	\$3/bag
100% organic material	\$10 minimum per load	
Potting Soil	N/A	\$4/bag

Bagged material available at the

Last Chance Mercantile

(Self bag, tools and bags provided)

14201 Del Monte Blvd., Marina
Hours: Mon. - Sat. 8 am - 4:30 pm

384-5313

Monterey Regional Waste Management District
www.mrwmd.org



IN YOUR DREAMS

FROM PAGE 30B

The workshop is full of art waiting to be framed — a kind of gallery of its own.

Patrick Hurst is the manager and frame builder at the workshop/warehouse who intended to teach after obtaining a degree in English, but once having learned framing, continued on. "When it gets in your blood, you can't get it out," he said. Proud of the full-production shop, Hurst points out the various machines that help him create any type of frame Todd has specified. It's obvious he's a perfectionist in his work.

Joe Shabram, a long-time pro, is in

charge of special finishes, frame carving and stainings. He creates shellacs from crystals or flakes to which he adds stains and he applies delicate, feather-light gold and metal leaf to frames. A broken section from a plaster ceiling chandelier surround is transformed into a handsome faux antique with his wizardry.

Cathie Jaeger of Big Sur mounts photographs archivally and is in charge of custom mats and mats wrapped in fabric. She uses a traditional mat cutter or a computerized Wizard, which cuts intricate patterns using templates on a CPU.

She uses foam core as the base for fab-



Joe Shabram is in charge of special finishes on frames. Here he is shown rubbing rich gold leaf onto a frame he has first coated with a casein emulsion, then sized as an adhesive ground for the gold leaf.



Contemporary paintings, such as this by Alexander Petrov, mingle with traditional, representational artwork in the Elliott showrooms.



CULINARY
CENTER
OF MONTEREY

625 CANNERY ROW
MONTEREY
831/333-2133

www.culinarycenterofmonterey.com

COOK, EAT & SHOP

AT THE
Culinary Center of Monterey


- ☛ Cooking classes for the cooking enthusiast
- ☛ Ocean-view patio with wine & appetizer bar
- ☛ Fresh baked bread, cheese & gourmet takeout
- ☛ Unique culinary retail shop & cookbooks

JOIN US FOR LUNCH OR DINNER 7 DAYS A WEEK
Breakfast at 8:00 a.m. on Saturday & Sunday


Overlooking Beautiful Monterey Bay

Special Introductory Price

Barlow Tyrie
**"The best in
teak garden furniture"**



Barlow Tyrie
"THE ENGLISH GARDEN TRADITION"



"Where Customers Become Friends!"
The Country Store
625-6033 • 3708 The Barnyard • Carmel

Discover the ageless elegance of

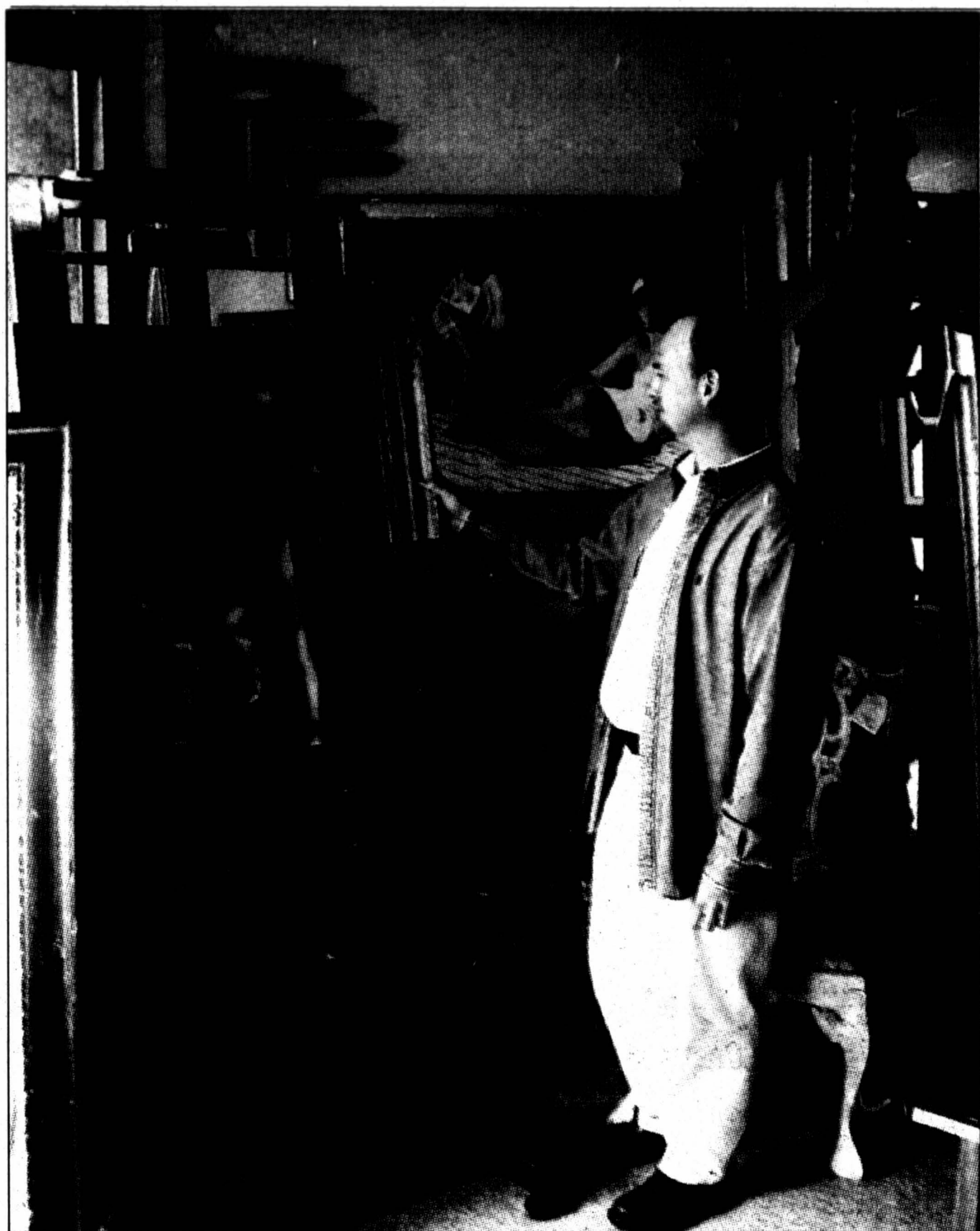
**NATURAL STONE
AND SLATE**

Graniterock introduces a collection of natural stone, a selection of the choicest stone from the finest quarries in the United States. You'll find a large selection in stock at our five locations in the tri-county region, with many more available by special order. To learn more about our new natural stone collection,

Call **831.392.3700**
1755 Del Monte Blvd, Seaside



Graniterock.
Commercial • Residential • Custom Estates



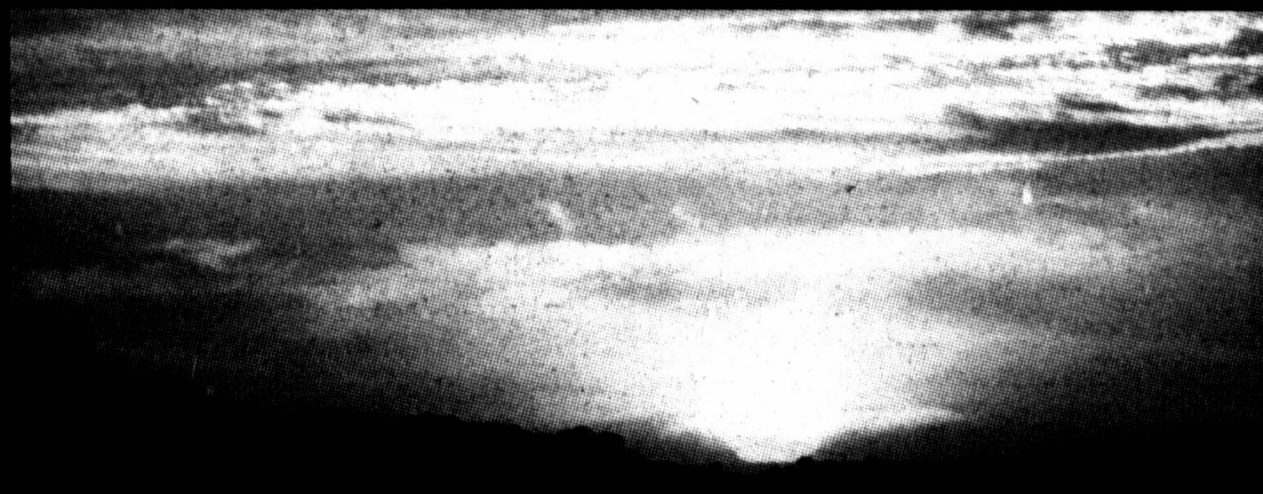
Todd Elliott tries out an old world frame on an old world-style painting in his Carmel Rancho Lane shop in Carmel where frame corners are in evidence everywhere. A Lasov beach scene on the wall has been handsomely enclosed within a hand-carved, silver-leafed frame.



The magnitude of choices, both in the showroom and on the display of hundreds of frame corners (below) sometimes perplexes clients, who frequently leave the selection to Todd Elliott's expertise.



Exquisite!



Point Lobos & Ocean Views!

Light and bright, this wonderful 4 bedroom, 3 bath home is located in a quiet Carmel neighborhood yet has easy access to shops, restaurants and Highway 1. The versatile floorplan is perfect for entertaining, and the location offers great views of Point Lobos! \$1,375,000.



Nestled under the oaks above the 11th green with views down to the teebox and beyond, this spectacular new residence will be completed in Summer 2001. Superior craftsmanship & materials define the 5,100 sq. ft. single-level home, which offers a huge family room/kitchen, a separate recreation room with wet bar, patio with an outdoor fireplace and a spacious 4-car garage. Offered at \$3,695,000.

Gorgeous Custom Remodel



Located in a quiet neighborhood within walking distance to town and beach, this stunning 3 BD, 2 BA home offers fine materials and amenities. A custom Carmel stone entry invites you in to an open floorplan, where vaulted ceilings, hardwood floors and some ocean views join a gorgeous Carmel stone fireplace. The gourmet kitchen is graced with granite counters and top-of-the-line appliances, and a two-car garage offers desirable off-street parking. Offered at \$1,595,000.

Kristi Arnold

(831) 620-6121

Cell: (831) 915-8201



ALAIN PINEL
REALTORS

HER DETERMINATION CREATES A GARDEN CLUB THAT ISN'T

Story and photos by SISSI MALEKI

IF YOU want to hang out with Margaret Bellini, you better know two things about her: She hates to feel trapped and she loathes being told, "No."

When she and her husband Michael left the East Bay to live in Pebble Beach in 1995, Margaret, a red-haired, freckle-faced, youthful woman, wanted to find new friends.

So she thought it worth her while to frequent the local



This month, California-American Water Company is mailing all customers a copy of the *2000 Annual Water Quality Report*. This report summarizes the hundreds of tests we conduct to ensure we deliver the highest possible quality water.

A Commitment to Water Quality

California-American Water Company's commitment to water quality means we do everything we can to ensure the water we provide to your family is pure and refreshing.

We test water before it enters our system, once it leaves our plants, and we also routinely test it in locations around the community, to make sure the water we deliver to your home meets or exceeds all health and safety standards.

Our commitment doesn't end with testing. We engage in preventative maintenance to stop problems from ever occurring. We routinely replace filters, install new equipment and perform day-to-day maintenance.

From our Family to Yours

Our certified laboratory and nationally recognized main lab in Belleville, Illinois provide detailed scientific data that we mail to each customer every year. You can also view our Annual Water Quality Report on our Internet website, www.calamwater.com.

California-American Water Company is dedicated to protecting the environment while bringing you quality water at a fair price. On behalf of all our staff, thank you for the opportunity to be of service.



California-American Water Company

An American Water Works Company

www.calamwater.com

Phone: (888) 422-5261



Visitors to the Bellini garden round a corner (upper right) and suddenly find themselves at the threshold of a magical garden

garden club she'd heard so much about.

Attending some of this club's events, one day she asked a member, "How do I go about joining your club?"

"The woman seemed almost insulted at the idea that I'd ask to join their club," Margaret recalled, "and she told me the membership was closed, implying that someone would have to die in order for a space to open up and, in any case, five references were required!"

"At first I thought, maybe it's just an attitude because I'm not from Carmel," she continued, (though that isn't exactly accurate — Margaret lived in the area as a child and, in 1970, belonged to the last class to graduate from Junipero Memorial High School which later became Junipero Serra School).

Then, she said, she spoke to an acquaintance and got another unexpected reaction.

"You asked them to join?" this person queried Margaret incredulously. "Don't you understand the concept here? You don't ASK to join, you WAIT to be invited!"

This was all Margaret needed to get her into the rebellious mode developed early in life as a German orphan. (At the age of 10 she was adopted by an American GI and a Hungarian refugee and moved to Fort Ord.)

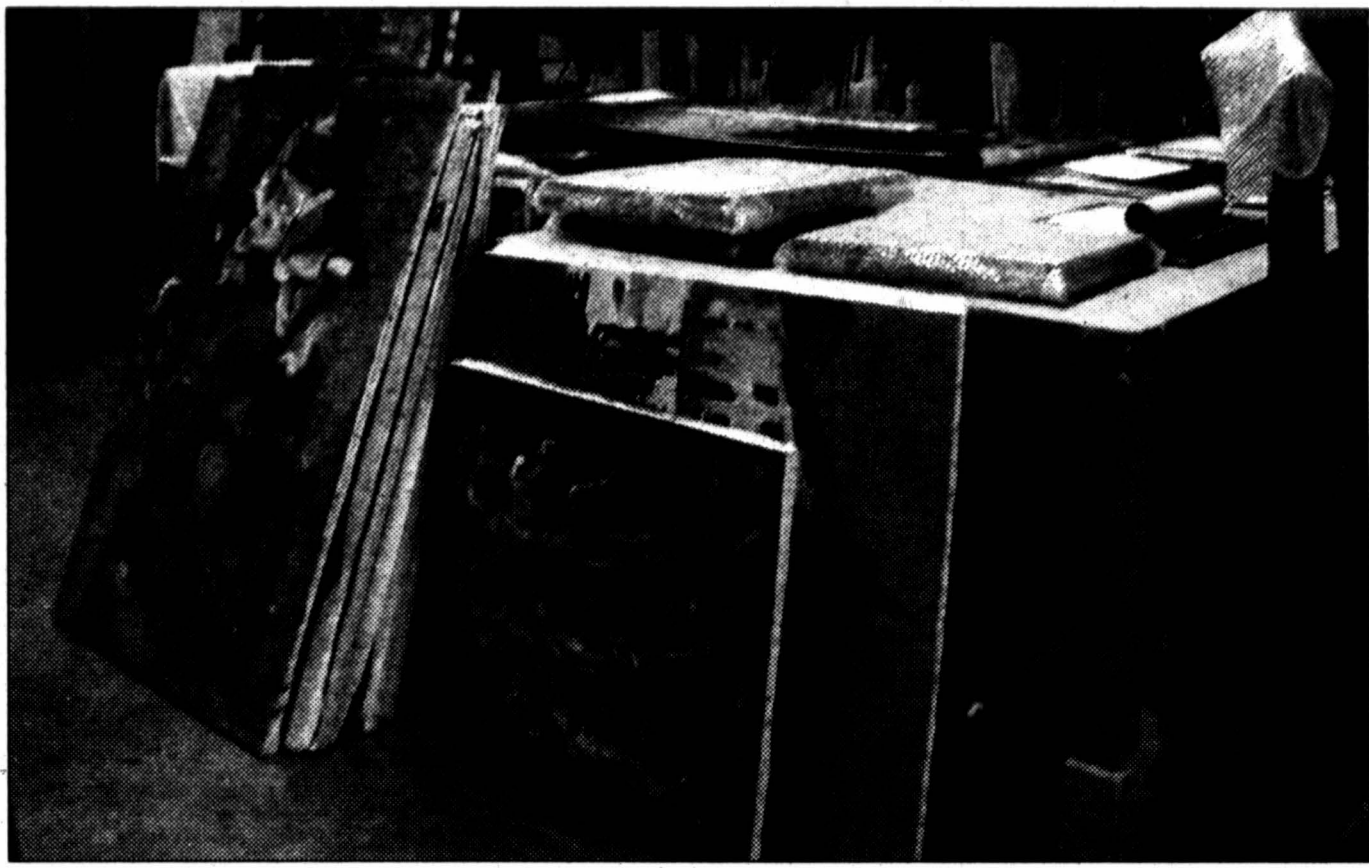
She continued with her story: "I called the Pebble Beach office and asked them if there was a Pebble Beach garden club and they said, 'No, not as of yet,' so I came

Continues on page 37B

The finest in Traditional to Contemporary Cabinets & Furniture

Kitchens	Offices
Libraries	Entertainment Centers
Bars	

831.458.1289



The workshop/warehouse on Garden Road, Monterey, is a sort of informal gallery without visitors. Craftsmen construct between 75 and 100 frames by hand every month.

ric wraps because it gives a deeper bevel at the edge than regular matting, using a heat vacuum press. "The deep bevel is Todd's hallmark," she pointed out. After she applies fabric to the matting, she seals it at the back with double stick tape.

Catherine Kuto is in charge of the last station, the actual "construction" of the art and its component parts into

Continues on next page

1049 BROADWAY • SEASIDE • 394-6831
EAST OFF FREMONT • BY THE SEASIDE POST OFFICE

90 DAYS
Same as
Cash OAC

394-6831

License
Value
Quality
Price

BROADWAY CARPET

MON-FRI 8:00-5:30 SAT Open till

Quality Braid Rugs
IN STOCK

FROM
\$199⁰⁰

SPECIAL ORDER
APPROX 10 DAYS

NYLONS & WOOLS AVAILABLE

ANY CARPET
Remnant
IN STOCK
1/2 OFF
PLUS
WE'LL PAY
THE Sales Tax!
PRICE GOOD THRU SAT

**DON'T BE
EATEN
OUT OF
HOUSE
AND
HOME!**

CALL US TODAY!

- Family owned and operated with over 15 years experience
- Free estimates
- Non-invasive microwave or Bora-foam treatments available
- Senior discounts
- 3 year warranties

HURRICANE
TERMITE CONTROL

384-2000
COMMERCIAL • RESIDENTIAL • REAL ESTATE

10% OFF TOTAL SERVICE WITH THIS AD

Visa/MC

MASTER NURSERY
Formula 49
Gold Rust

USE NOW!
For Healthy Summer Flowers

- Roses
- Orchids & Tropicals
- Trees • Statuary
- Water Lillies & Aquatics
- Fertilizers & Advice
- Display Gardens & Waterfalls

Graeber Gardens
Color, Shrubs, Indoor, Outdoor
"Everything Under The Sun"
115 Monterey-Salinas Hwy (Hwy 68) Salinas
455-1876

Filice Design Studio

*creating the finishing touch
for your home or office*

Mary Filice
Allied Member A.S.T.D.

Specializing in custom
window coverings, bedding,
wallpaper and home accessories

648-8130
225 Forest Avenue
Pacific Grove, CA 93950

SOFA SALE
Buy any 2 pieces and receive the
2nd piece at **50% off**
Sale ends June 30th, selected items &
fabrics, 2nd item must be of equal or less value.

Choose from a large selection of fabrics

CUSTOM FURNITURE | ACCESSORIES | GIFTS | ART
ROOM FOR CHANGE
IN-HOME DESIGN SERVICES AVAILABLE
1260 Del Monte Center Monterey 643-2830

its frame. "I like the construction to be as fine as the art," she said, a perfectionist at what she does.

Among her tools are a nail gun and pressurized air. She assembles the matting and artwork under the glass — sometimes a complex job if the art is to be floated on foamcore affixed to the backing, or if a fillet is inserted. The back is sealed against dust with craft paper and tape.

Catherine has a B.A. in painting from Sonoma State, and on weekends paints in oils and watercolors and draws with pas-

tels — mostly landscapes, still life and nudes.

Back at the showroom, Linda Agrati serves as Todd's administrative assistant.

At any given time, there are from 75 to 100 framing jobs going per month, some small and simple, others intricate and demanding.

Todd, who radiates a quiet self-assurance, says of his creative output, "I'm only as good as my clients and my staff who go along with my ideas."

Paula puts it simply: "Todd is unique."



Sandra Griswold, Interior Designer

ETHAN ALLEN

The Treasury of American Interiors

Call Sandra Griswold
Ethan Allen
1425 N. Davis Road
Salinas, CA 93907

Phone: 831.753.9100
Ext. 30
Fax: 831.753.6506

You're on your way to designing a home you'll love...but you have some reservations, some questions. Perhaps you'd like a second opinion - or a fresh set of eyes on something. Take advantage of my complimentary design service at Ethan Allen.



An Andre Balyon oil painting of an oriental vase is framed simply and to great effect.

Old World Charm



New Price - \$1,975,000 - Owner Must Sell!

Enchanting, artistic and sexy in Pebble Beach...John Matthews recently designed renovation of vintage Mediterranean 4 BD/4 BA home across from MPCC's 1st fairway. 18 ft. vaulted ceilings, separate guest House, beautifully landscaped and manicured grounds behind a privacy wall and gated entry. Cozies sophistication - one of a kind!

Lee Willman
Burchell House Properties
831.626.5045



PENINSULA psts SEPTIC TANK SERVICE

OVER 37 YEARS
OF EXCELLENCE

Did you know PSTS does more than just pump septic tanks?

We are a full-service company experienced in all phases of the commercial and residential sewage industry including :

- Sewer & Drain Cleaning
- Pipe Locating
- French Drains & Curtain Drains
- Televised Inspection of Sewer & Drain Lines
- Sewer Tie-Ins
- Sewer Line Upgrades & Replacements
- Hydro-Jet Sewer Cleaning
- 24-Hour On-Call 365 Days a Year

FREE ESTIMATES

☎ 831/659-2465 ☎

**73 W. Carmel Valley Road #28,
Carmel Valley**

Calif. State Lic. #494738

SUMMER CLEAN-UP SALE!

CLEAN CARE™
by MILLER'S
Since 1950

CARPET CLEANING
Using
THE HYDRA-CARE™
OR DRY CARE™
SYSTEM
Save
20% TO 40%
When You Move The Furniture

Hy'n Dry™ The Best Method!!
Rinse/Extraction plus Dry Cleaning
**CLEANS DEEPER!
DRIES FASTER!**



AIR DUCT CLEANING

We'll clean out your furnace and ducts with our patented Roto-Care System
"If it's in your ducts, it's in your lungs!"

**SAVE
\$50**
NEW FILTER

ORIENTAL & FINE RUG CLEANING

Pick-up
& Delivery
Included or
SAVE 1/4
When you bring in,
pick up your rugs

POWER DUSTED
HAND WASHED
JET RINSED
POWER WRINGER
WARM BLOW DRY
SPOTTING & FRINGE
MILLER'S RUGMASTER™ SYSTEM is the area's only complete cleaning plant. Visitors are always welcome. Please compare facilities before you trust your rugs to anyone else!

CLEAN CARE™
by MILLER'S
Since 1950

FREE ESTIMATES
• Carpet • Upholstery • Drapery • Oriental & Fine Rug • Duct Cleaning
646-2200 or from Salinas 424-7303
301 Dela Vina Ave., Monterey
Off Del Monte — 1 block north of Casa Verde
Hours: 8-5 Mon-Fri • 9-1 Sat

FROM PAGE 34B

home and told Michael, "I'm going to start a garden club."

"But you don't even know anybody," he pointed out.

"And it was true, I didn't know anybody," she said. "So I started meeting people while taking the dog for a walk and the sign I put at the post office announcing, 'A Different Kind of Garden Club' brought in calls, too."

She came home one day and announced: "Michael, I know six people!"

And after adding the names of her neighbors to her short list, she felt ready to proceed.

"I called everyone and said, 'I'm trying to get a garden club together . . . you don't have to join but you just have to show up — I need bodies!'"

Margaret held her first meeting in April 1998 with about 10 people present.

"I had no idea what I was supposed to do," Margaret recalls. "One of the ladies sitting on the couch asked me, 'What is your agenda?'"

"I looked at her blankly and said, 'My agenda? I have no agenda . . . I just want to make a little garden club to just do things together!'"

The woman persisted. "But what are you going to do?" she asked Margaret, who finally threw her arms up in the air and replied, "Well — whatever!"

They went on to chat about gardening and before the meeting ended, Margaret asked everyone to write their names on a sign-up sheet.

"Does this mean we're really in the club?" they asked her, before signing.

"No, I just want to record that we've had our first meeting," she replied, finally pleading with them: "Play with me here — humor me! I don't know if we'll have a second one, but at least we know we've

had a first one!"

Margaret now admits, sheepishly: "I really didn't know some of these ladies very well, and they were probably saying about me, 'This lady's off the wall!'"

The gardeners continued to hesitate.

"We don't usually like to join clubs . . . they get too formal," they told her.

That was a statement Margaret could respond to with great authority.

"That's one thing you'll never have to worry about," she promised them. "This will be as informal as possible."

And the club remained that way, with no officers or structure whatsoever. Just recently, in its third year, the club has had to appoint one person to collect the new \$25 membership fee to pay for the expenses of the rapidly growing club. (Nearly 60 members to date, thanks to word of mouth.)

Yet, there was one more bump in the first year.

"I got a call one day from a Pebble Beach executive," Margaret recounted, "and I was asked, 'How married are you to your club name?' (Which, at the time, was Friends & Flowers of Pebble Beach.) To which I replied, 'I like our name — it took me a long time to come up with it!'"

But this individual informed her very nicely that she'd have to change it because the company owned the Pebble Beach name. Thus, the club became, "Friends & Flowers of the Del Monte Forest."

The group is actually more of a women's club now, even though it began as a garden club. Members with similar interests get together for all types of activities, such as hiking, biking and golf. Sometimes, a cooking class is conducted by one of the members or a professional.

Along the way, members search for good causes to help. In the summer, for

instance, members make spectacular flower arrangements to donate for tables at the Pebble Beach Equestrian Show. This benefits a different non-profit each year.

"At first it made me sad to realize there are all these people stuck in these fancy homes with no one to talk to," Margaret says. "I met this one woman who said, 'I've lived here for three years, and I don't even know who my neighbors are. How did you do this?'"

Margaret told her: "I put myself out there. People might think I'm crazy, but I

don't care. I love people!"

"And there are so many other little stories like that of women who have now developed friendships in this club," Margaret says, adding that guests invariably comment at the end of their visit, "This is such a fun group!"

The Bellinis live in a Normandy-style home on the 16th hole of Pebble Beach, and aside from "misdirected" golf balls shattering the windows every now and

Continues on next page

Views!...Views!!...Views!!!

Golf Course • City Lights • Bay • Ocean

Present home of 3 bedrooms; 2 baths offers potential for remodel and/or expansion for even greater panoramic ocean views. Seller financing possible. Location is everything! \$1,200,000.



Lee Martin (831) 620-6123

ALAIN PINEL
REALTORS

Consignment Gallery

Large Selection of Designer Furnishings at below wholesale prices

3 Floors Of:

- Quality Home Furnishings
- Office Furniture
- Antiques & Art
- New Showroom Samples

...A store that offers more for less...

149 Alvarado St., Monterey, CA • 831.372.0793 • 10 to 6 Monday through Saturday • 11 to 4 Sunday

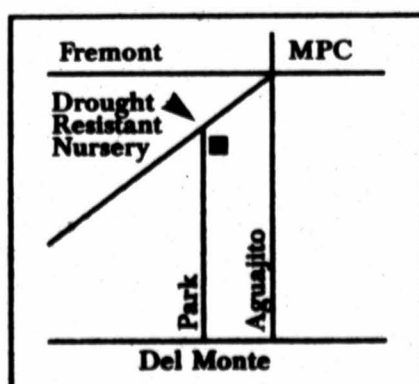
FINANCING AVAILABLE

Drought Resistant Nursery

FEATURING LOCALLY GROWN:

ANNUALS
NATIVES
PERENNIALS
SHRUBS
TREES

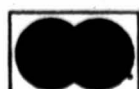
CONTRACTOR PRICES



375-2120

8am to 4:30pm, Mon-Sat

850 Park Ave.
Corner of 10th St and Park Ave
Monterey



Mastercard & VISA accepted



American Granite and Marble

Located in Monterey, American Granite and Marble has everything you need to keep your stone surfaces looking as good as the day they were put in.

We have a full line of products that are easy to use and keep your stone looking like new.

We also have a large selection of Granite, Marble and natural stone slabs in stock at affordable prices.

Granite • Design • Marble
Fabrication • Slate, Limestone
Restoration • Slabs
Sealing • Supplies
All Natural Stone
Maintenance Products

Specializing in Hand Painted Stone



Monterey Lighthouse • Monterey
Monday-Saturday 9am-5pm

Phone 375-8277

Fax 375-8277



The magical Bellini garden is filled with ferns, fig leaf ivy, lambs ears and campanulas, framed by lace lichens on the oak trees. The stone bridge is carpeted with blue star creeper and baby tears. The path to the Bellini's front door (right) is really another garden, dotted with geraniums, campanulas, Santa Barbara daisies and herbs between the flagstones. Clematis Montana and Old English roses are the climbers to the left.



CONTINUES FROM PREVIOUS PAGE

then, life is rather quiet.

"The window manufacturer had guaranteed free pane replacements for life," Margaret explained. "What they failed to tell us was that the handful of people coming to fix it weren't free!"

Gardening remains Margaret's favorite hobby. Her garden, which took a year and a half to set up, is filled with everything from Japanese maples and sequoias to wisterias, lilacs and endless varieties of campanulas, just to name a few.

The pathway to her front door is a magical garden in itself, with flagstones wildly framed by various groundcovers and flowers — Santa Barbara daisies, campanulas, geraniums, parsley, sage, rosemary and thyme. (And yes, she loves Simon and Garfunkel!)

The side of the house is covered with a mixture of clematis, climbing iceberg roses and climbing Phyllis Bide roses. A winding path through the garden leads to a storybook bridge crossing a small brook. The bridge is particularly distinctive with its flagstones stacked vertically.

Richard Wilson was the Bellinis' landscape designer. Many of the gardens they first saw and liked in the area had been designed by him.

"He was the only one who was willing to work without a plan," she recalls, mentioning how "very open and easy he was to work with."

"I didn't want someone to simply take a deposit and say, 'I'll go now and draw a master plan,' because we had no idea what we wanted."

The garden, a continuing work in progress, has a lushness mostly due to an intricate system of underground irrigation. This both waters and fertilizes roots with the help of various control stations throughout the property.

"It drives my husband crazy," says Margaret. "He notices the ground is dry and starts worrying, though I keep telling him it's fine."

How does one tell if there's a leak?

"There's usually a small spring that forms, which means some digging has to be done," she explained.

See *BELLINI* page 47B

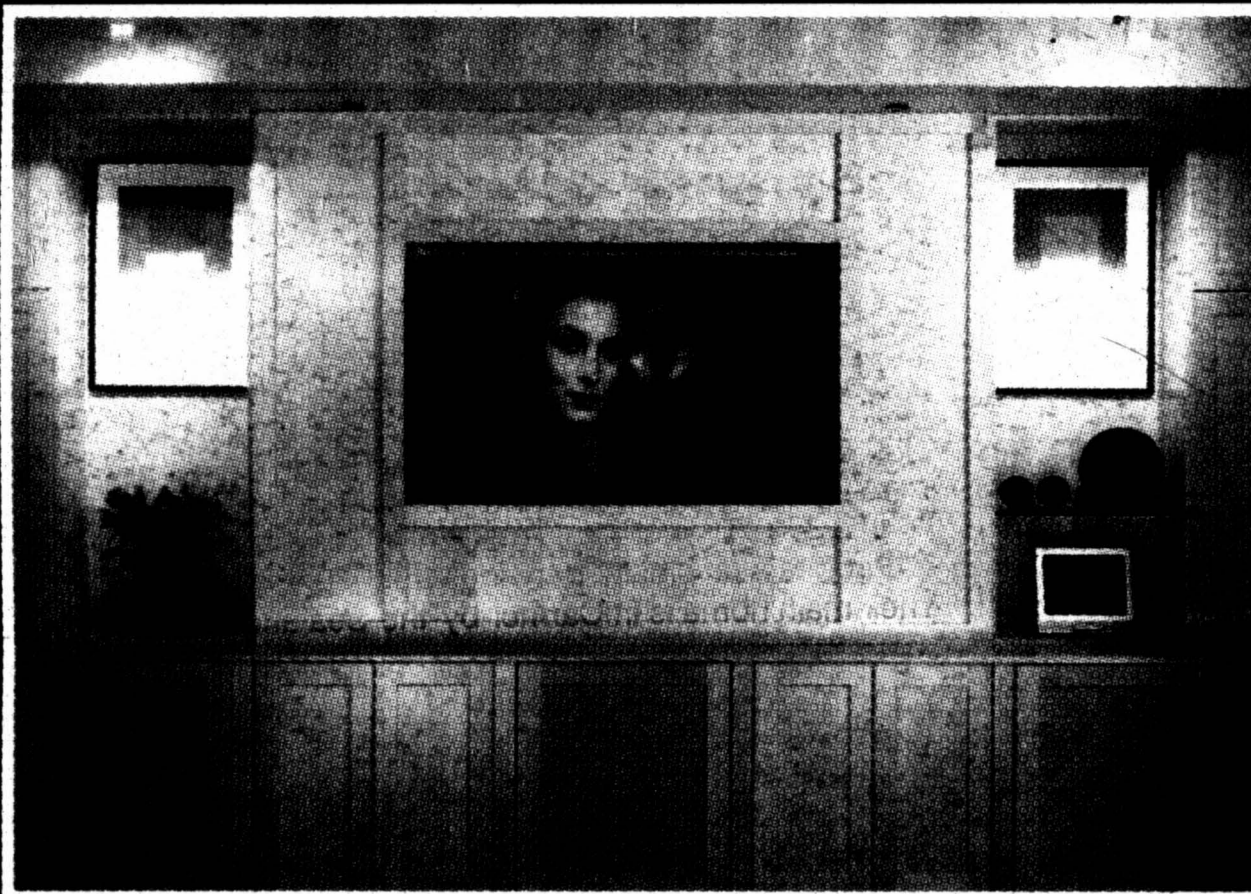
David Vincent DESIGN

David Vincent Design offers expert design, sales, installation and service of home theater and music equipment. Today's most advanced technology, including flat-panel televisions, projector displays, touch-screen system controllers and HDTV. All can be viewed at his showroom.

NOW AVAILABLE
10", 12", 15", 20", 42" and 50"
flat panel TVs only 3 1/2" deep

26384 Carmel Rancho Lane Carmel, CA 93923
(831) 626-1865

Hours: 10am-5pm, Monday-Friday
Saturday by appointment only, closed Sunday



CARMEL TILE & MARBLE CO.

EVERYTHING BEAUTIFUL AND UNIQUE IN TILE AND STONE

26382 CARMEL RANCHO LANE • CARMEL 831.625.6216

Located in front of The Barnyard next to First National Bank

Ray & Suzanne O'Neal's stylish world

Story and photos by ANNE PAPINEAU

IT WAS their first night in that Carmel enclave known as South of Ocean.

No sooner had husband and wife raised champagne glasses to toast their new abode than Ray O'Neal began scrutinizing the place with the eye of a critic.

According to Suzanne O'Neal's recollection, her husband asked, "Don't you think it would be fun to have an

opening between the kitchen and the living room?"

Within seconds of Suzanne giving an affirmative nod, Ray swung a sledge and "boom" (she says "bong") — they had their opening.

The O'Neals are a couple who get things done.

In moving to a Carmel cottage of a mere 1,400 square feet from a 6.5-acre ranch in Lafayette, Suzanne,

Continues on next page



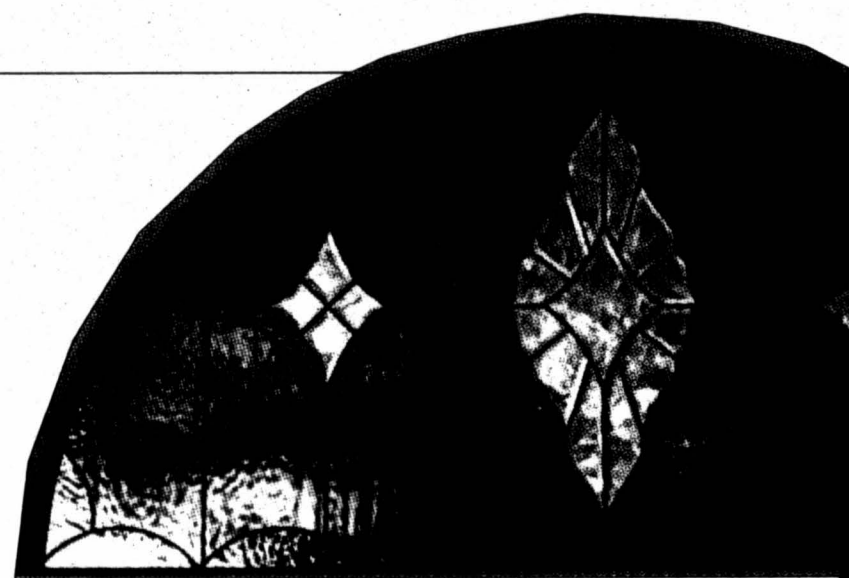
A menagerie of blue-tinged porcelain figures share a tabletop with rare jars.



Suzanne O'Neal's skilled work with color is evident in their Carmel garden gate.



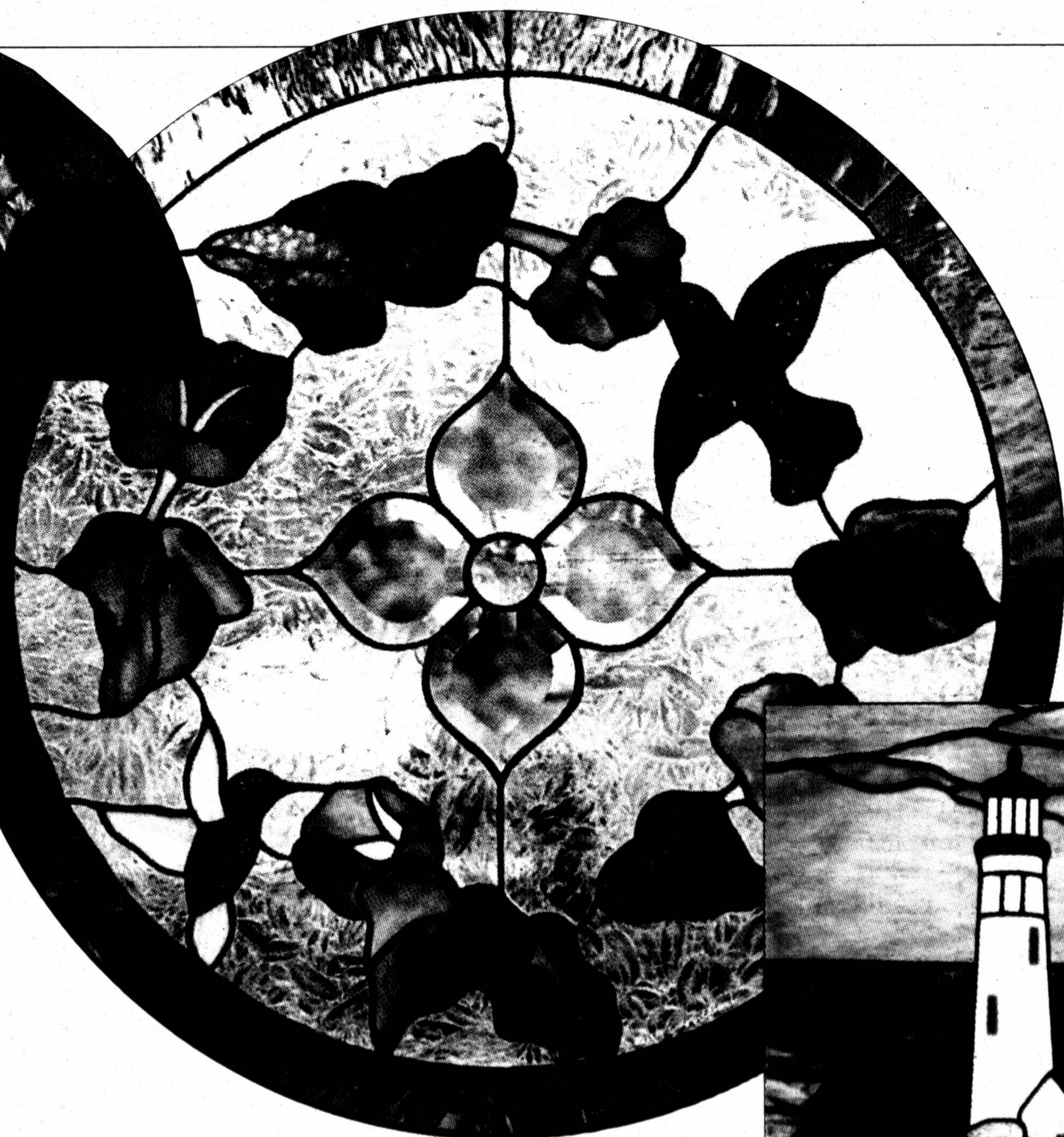
A European sensibility pervades the lives of Ray and Suzanne O'Neal, who spend several weeks each year in Europe. Their main home is in Carmel-by-the-Sea and they also own LyonsHead, a sun-filled art gallery in Carmel Valley Village.



Monterey Cypress Stained Glass Studio

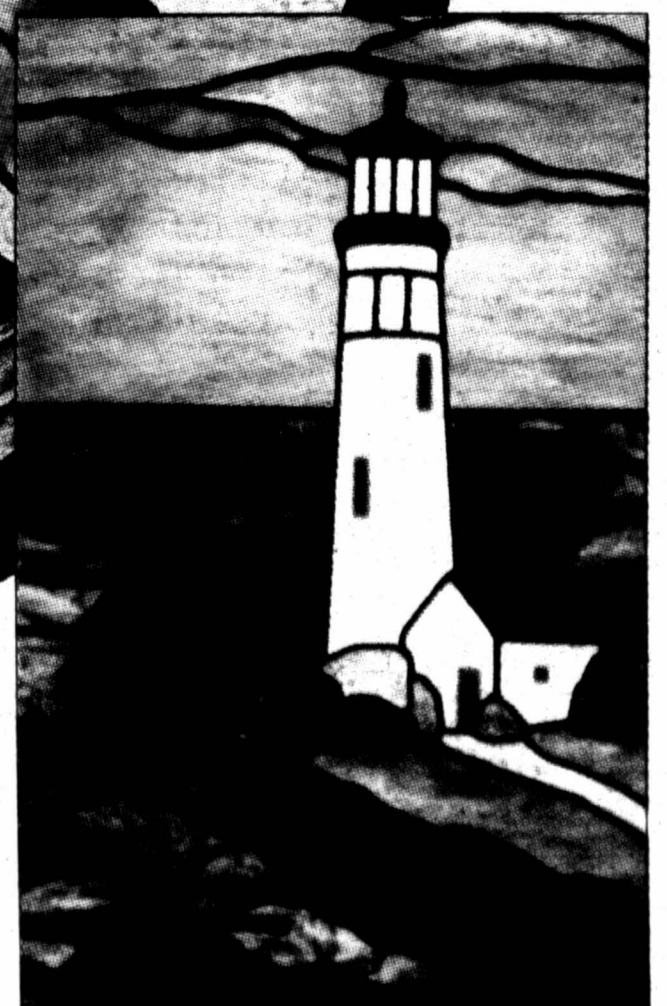
- Custom Designed Windows & Doors
- Superior Craftsmanship
- Over 50 years Combined Experience
- Affordable & Unlimited Possibilities

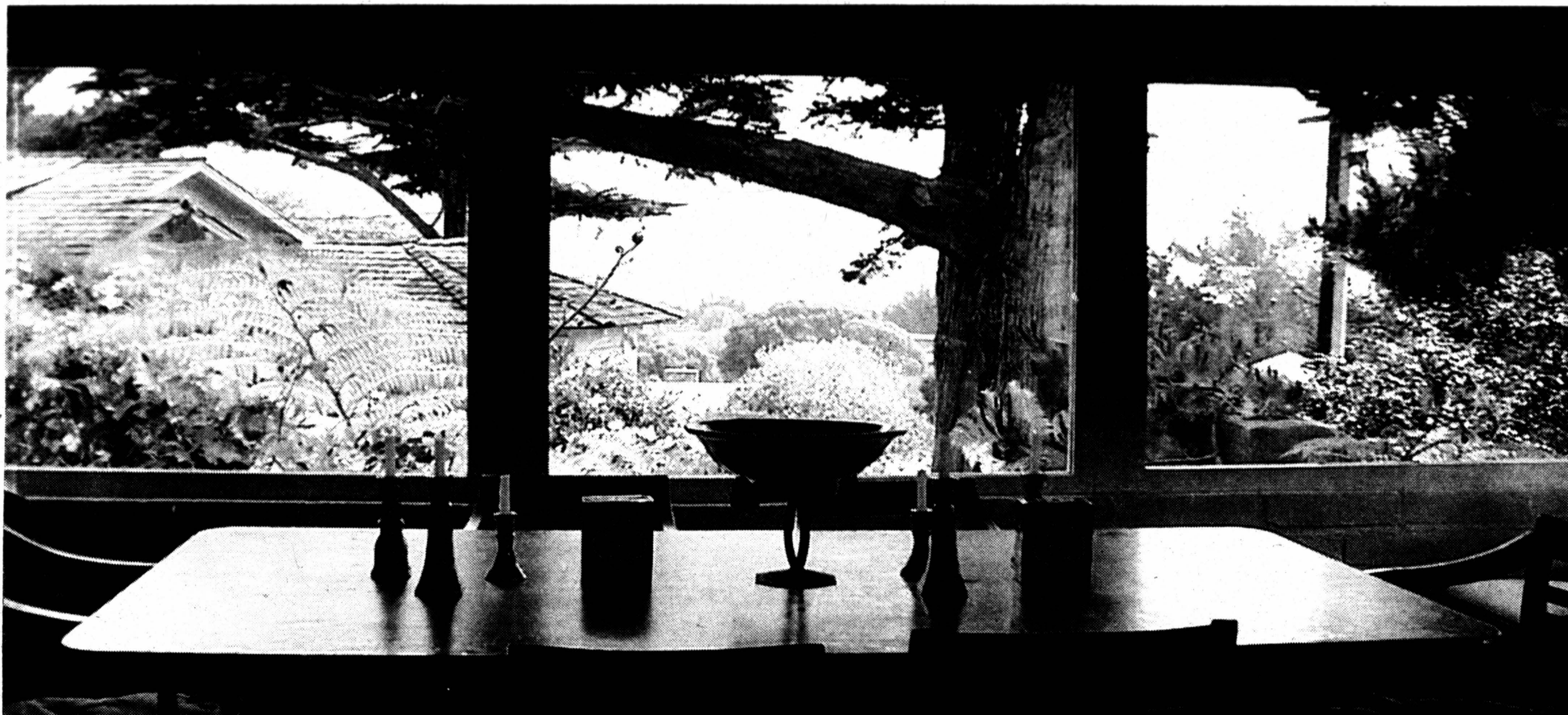
831-373-1989



Visit our working studio/showroom:
400 Foam St. • Monterey
(Near Cannery Row)

www.montereystainedglass.com





South of Ocean Carmel charm pervades the home of Ray and Suzanne O'Neal. Displeased with the original layout, Ray took a sledgehammer to one wall — an instant remodel.

FROM PREVIOUS PAGE

the artist in the family, asked, "Where will I paint?" See, even creative types feel the pinch of downsizing.

Sunny village gallery

So they purchased a couple of buildings in Carmel Valley Village, and, "boom," they were in the gallery business. Suzanne had room to work — not to mention bountiful natural light.

Their house in Carmel and LyonsHead Gallery in Carmel Valley Village complement one another. In Carmel, they love to walk on the beach. When the O'Neals crave space and sunshine, they head 12 miles up Carmel Valley Road to the gallery. It's at 12 Del Fino Place, on what is now "Restaurant Row" in the village. LyonsHead is next to Café Rustica and across the street from such dining destinations as Plaza Linda and Sole Mio Trattoria.

Over 32 colors to choose from
Specializing in continuous seamless gutters

Performance Gutter Systems

Steel — Copper — Aluminum — Stainless Steel
Repair — Cleaning — Leaf Guard
Sheet Metal Fabrication

Free Estimates

Santa Cruz

454-0113

Monterey

384-1221

Salinas

443-3744

License #445118

www.PerformanceGutters.com



The comfy master bedroom boasts a hand-carved headboard and cushy throw.

At the gallery Ray maintains a workshop and Suzanne her studio, so they both can create as whims dictate. While she is the artist-in-residence, Ray is chief engineer, electrician and plumber. It was he who installed the fountain with its dozen water-spouting "Lyons Heads." Within the inviting gallery, Suzanne's oil paintings are represented along with creations by Carol Chapman, Elizabeth

Murray, Barry John Raybould, Ann Walbert, Walter Georis, Fred Carvell, Christine Johnson and Tehila Eisenstat. Once a month the gallery showcases the work of an elementary school-aged artist from Tularcitos School, just across the way.

Warmth and bits of whimsy pervade

Continues on page 42B

2 easy ways to get up and down in your home:



Stairway Lift

- Folds out of the way
- Easily attached to steps (not walls)
- Fits most stairways (straight & curved)
- Very affordable, variety of models



Residential Elevator

- Accommodates most wheelchairs
- Alternative to stairway lifts
- More affordable than traditional elevators
- Space efficient shaftless design

CALL NOW and ask for:

- Free except site evaluation and quote (no obligation) • Complimentary literature

ACCESS SOLUTIONS
(800) 392-1002

Cal. Lic. #730342 • Authorized Dealer for Access Industries, Inc.



**Drain and Sewer Cleaning,
Hydro Jetting & Video Inspection Service**

Commercial • Industrial

- Hydro Jetting (Up to 4000 psi)
- Descaling / Grease / Roots
- Video Inspection

Residential

- Kitchen / Laundry / Basins
- Tub / Showers
- Toilets & Sewer Lines
- Storm Drains • Video Inspection

Reliable, Experienced with Friendly, Quality Service 24 hours a day, 7 days a week

MONTEREY/CARMEL 649-2500 • SEASIDE/MARINA 899-0300
SANTA CRUZ 423-8200 • WATSONVILLE 722-2600

ARLIENE BEESLEY

"YOU ARE IMPORTANT TO ME!"

Arlene has been a resident of the Monterey Peninsula since 1962 and a full-time Realtor Associate for over ten years. She is ready to share her Experience, Knowledge, Integrity, Technical Skills and Good Disposition in assisting you with all your Real Estate needs. Call Arlene, the Professional with an Intuitive and Personal touch.



(831) 622-2504
arbeesley@cs.com

Real Estate Profiles

These are some of the professionals you can count on for your real-estate related needs.

JOHN SAAR

John Saar Properties' passion is to add value to the sale of your homes. Marketing really is the difference. As owner/broker, John designs and implements insightful strategies unique to each property. Over the past 25 years, John has ranked in the top 1% nationally and was ranked as one of the top 10 agents in California and Hawaii for a national company. John opened his company 3 years ago to do the best job possible. To John, real estate is a creative passion.



(831) 622-7227
www.johnsaarproperties.com
john@saarproperties.com

FRANCESCA THORN

My philosophy is simple: Each Real Estate transactions is as personal and as individual as you are. My passion for the industry has made me **National Top Producer, Leading Edge Society Award winner and specialist in multiple offer contracts.** I believe... in first time homebuyers finding their dream home. I believe... in sellers getting rewarding results with positive closure. I believe... Real Estate is all about you being able to make life enhancing change with one of the finest, professional Realtors in the business and I am ready to work for you.

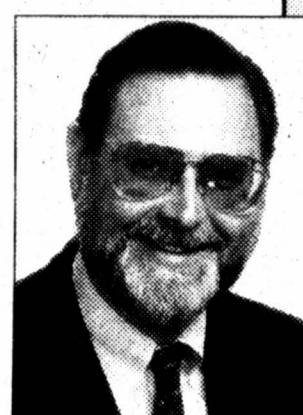


BURCHELL HOUSE

(831) 626-6776
(831) 626-5045
lat18@aol.com

BERT ARONSON

ABR, CRB, CRS
Bert is an Accredited Buyer Representative (ABR), a Certified Real Estate Brokerage Manager (CRB), and a Certified Residential Specialist (CRS). He is also the Broker/Owner of RE/MAX Monterey Peninsula, an independently owned and locally operated firm which is part of a network of 65,000 full time real estate professionals. During the last 22 years, Bert has helped over 515 clients buy and sell homes. If you are seeking an experienced professional with the highest ethical standards, call Bert today for a free consultation.



(800) 347-6835
625-3535, Ext. 102
golfpebble@usa.net
www.bertaronson.com

ANGIE CASTILLO

A resident since 1972, Angie was an Escrow Officer at local title companies for 18 years, gaining a knowledge base that's served her clients well since she became a Realtor. In addition to residential sales, she's experienced in investment sales, deferred tax exchanges, property management & mortgage lending. Angie has renovated properties and built spec homes, working with many of the Peninsula's best contractors and subcontractors.



(831) 624-5043

ALAN CORDAN

CRB, CRS, GRI - BROKER/OWNER
With an MBA in Economics and Corporate Management, Alan has served our community for 26 years, wearing many hats. During this period, he has remained a top producer on the Monterey Peninsula in both Commercial and Residential Real Estate. He is one of the three founders and original Broker/Owner of "RE/MAX Monterey Peninsula." Alan served multiple terms as Chairman of the Professional Standards Committee of the Carmel Association of Realtors and as a Board Member of the Monterey Peninsula Chamber of Commerce, where he was Chairman of The Government Affairs Committee. Currently, he is very active on the Board of Directors of The Carmel Business Association and The Monterey Symphony, where he serves as Vice President of Marketing.



Alan H. Cordan
Realtor
625-4393 • Toll Free (888) 333-7653
info@cordan.com www.cordan.com
N.W. corner San Carlos & 5th, Carmel

SUSAN CLARK

EXPERIENCE THE DIFFERENCE.
Specializing in the sale of fine homes and multi-residential properties, Susan has been assisting buyers and sellers follow their dreams for fourteen years. Her background as a teacher coupled with her strong people skills have made a winning combination creating many happy, satisfied clients. In her business, Susan has always emphasized personal service, attention to details, and skilled negotiation. She enjoys working within her community on the Monterey Peninsula and loves to garden and golf.

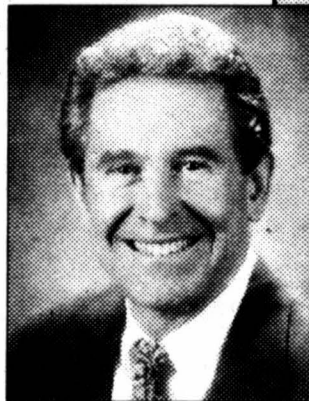


(831) 620-6159
susclark@redshift.com
www.susclark.com

BILL WILSON

Experience.
Integrity.
Results.

Of all the decisions you'll face when buying or selling a home, there is none more important than the person you choose to represent you. Choose carefully. Call Bill Wilson for award-winning Real Estate service.



(831) 622-2506
(831) 626-0650

DENISE ARCHIBALD

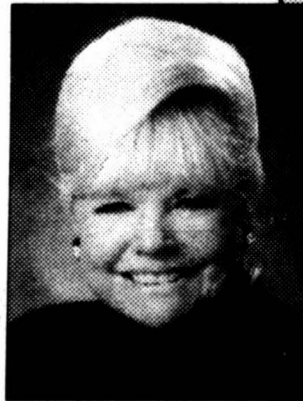
A native of California, Denise has a passion for real estate and has been an investor for many years. In addition, she has brought 9 years of real estate lending and 13 years of business management to Alain Pinel. Her experience in real estate investing and mortgage loans along with her interest in people, make her an energetic and caring professional for all your real estate needs.



(831) 620-6161
denisearchibald@hotmail.com

MARGE FIORENZA

Since experience is the best teacher, Marge has a great deal to offer her clients with over 20 years in real estate sales and management. As a consistent top producer, occupying a position in the top percentile and a regular member of Alain Pinel's elite "President's Round Table," it is obvious that she takes great pride in providing the most professional representation. Her former clients are her best references. Looking for the best? Give her a call now.



(831) 622-9809
(831) 620-6125
www.margefiorenza.com

JUDITH PROFETA

Judith is an award-winning Real Estate Broker with over 20 years experience who consistently ranks in the top 3% nationwide. Judith is the owner/broker of Alain Pinel Realtors, Carmel. Judith knows the territory and her industry, and she is known as a skilled negotiator and a seasoned mediator. She puts persistence, knowledge and creativity to work, maximizing her client's real estate investments. Her clients trust her and keep coming back... again and again.



(831) 620-6118
www.apr-carmel.com

BETSY BROWN

Being actively involved in the community as a business woman has been one of the many pleasures Betsy has enjoyed since moving to the Monterey Peninsula in 1970. Beginning with Interior Design, and complementing those skills with a real estate license in 1977, has afforded her the opportunity to uniquely serve her real estate clientele. Betsy participates in various civic, cultural and educational organizations.



(831) 626-2225, Ext. 422
Res. 372-6609

LINDA ASPINWALL

A resident of the Monterey Peninsula for over 30 years, Linda is committed to helping clients through the challenges of individual transactions. She demonstrates good judgement and patience to achieve success for buyer and seller. With the Real Estate industry expanding and changing so rapidly, she has the knowledge and integrity to get results. Call Linda Aspinwall at 626-8255 or e-mail at: twin@redshift.com.



(831) 626-8255
(831) 626-2222
twin@redshift.com

FROM PAGE 40B

their Carmel home, as well. In Suzanne's capable hands it has become a kind of house-sized canvas. Her paintings are not merely contained in frames. She has faux-finished most of the walls inside and out — bringing shades of tortoise shell, mocha and country mustard to their two-bedroom abode.

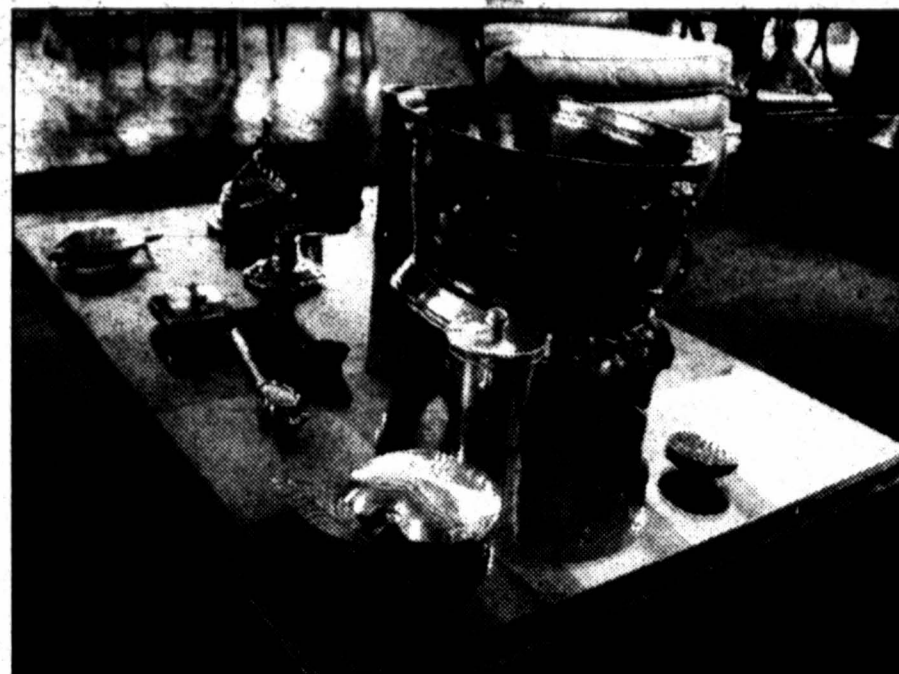
A downstairs bar evokes some African fantasy of inlaid ebony. But the finish is really a Suzanne O'Neal original. Ostrich eggs nest in a bowl on a table. Ray's office shares space with this exotic confection.

A trained hand and knowing eye are apparent here. For Suzanne O'Neal is not only a painter, she operated a noted interior design business in the Bay Area for 30 years.

"When it comes to doing something unique, most clients are too conservative to fly with it. But when it's for you, you can," she explained. "For yourself, you can take your ideas to the moon. With clients, for economic



Graceful crystal cruets and an original oil by Suzanne O'Neal face the couple's Carmel-by-the-Sea dining room.



Lions' heads even decorate this silver server. The O'Neals use the old English spelling for their LyonsHead Gallery. reasons' or lack of imagination, they just cannot let go that much."

Problem-solver Ray

It's apparent that husband and wife work well together. The O'Neal's house came with an expansive wool rug. Large, splendid, but "the color just wouldn't work

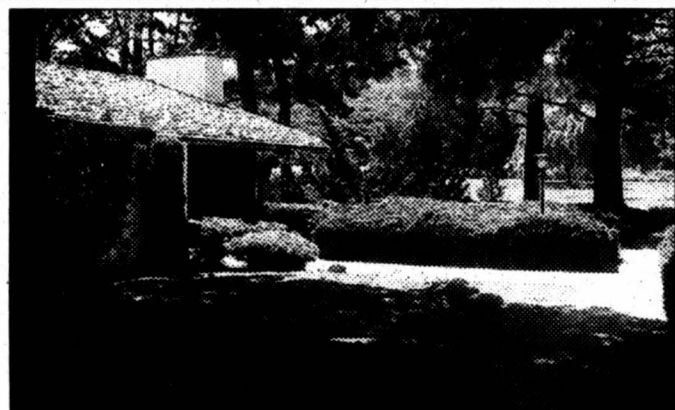
Continues on page 45B

Residential Division
Commercial Division
Property Management

A.G. DAVI

"Big Company Resources With Local Expertise Since 1963"

Real Estate



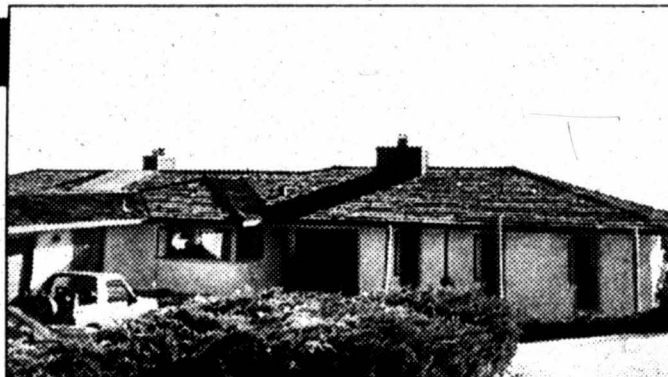
CARMEL VALLEY Beautiful Golf Course Views!

This three bedroom, two bath Quail Lodge home is just steps to the club house, driving range and golf course. Each bedroom has a sliding glass door which leads to a private patio. The master bedroom features a walk in closet and the other two bedrooms have a Jack and Jill bathroom. This large home also features vaulted ceilings, inside laundry, breakfast "Sun" room, two-car garage and a bonus golf cart garage. Offered at \$1,200,000.

Agent: Anthony Davi, Jr. or Cameron Davi (831) 373-2222

CARMEL VALLEY Los Laureles Grade

"Top of the World..." The large family home is located on over an acre of property. Home was recently repainted and seller is making some improvements. This home has 5 bedrooms, 3.5 baths and includes a family room, dining room, master bath with steam room, open kitchen with wet bar and expansive decking surrounding the property all with a terrific view of the Salinas Valley & the Monterey Coast. Priced to sell \$995,000. Agent: Jeff Davi (831) 373-2222



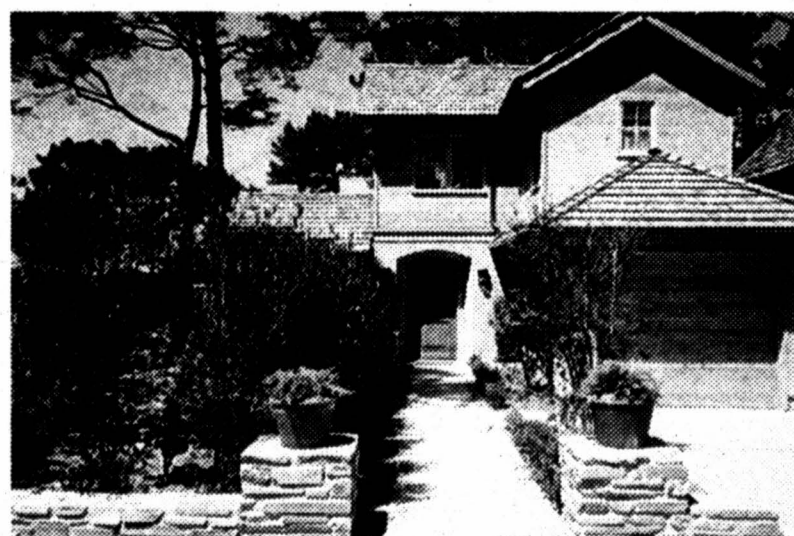
(831) 373-2222 • 484 Washington St., Monterey • www.agdavi.com



A late 18th c. French Provincial oak two-tiered stand, finely carved and of a small & charming size. On it, a mid-19th c. Staffordshire maiden with her dog.

ANNA BECK
ANTIQUES • DECORATIONS

26358 Carmel Rancho Lane, Carmel, CA 93923
(831) 624-3112
ESTATE APPRAISALS AND SALES

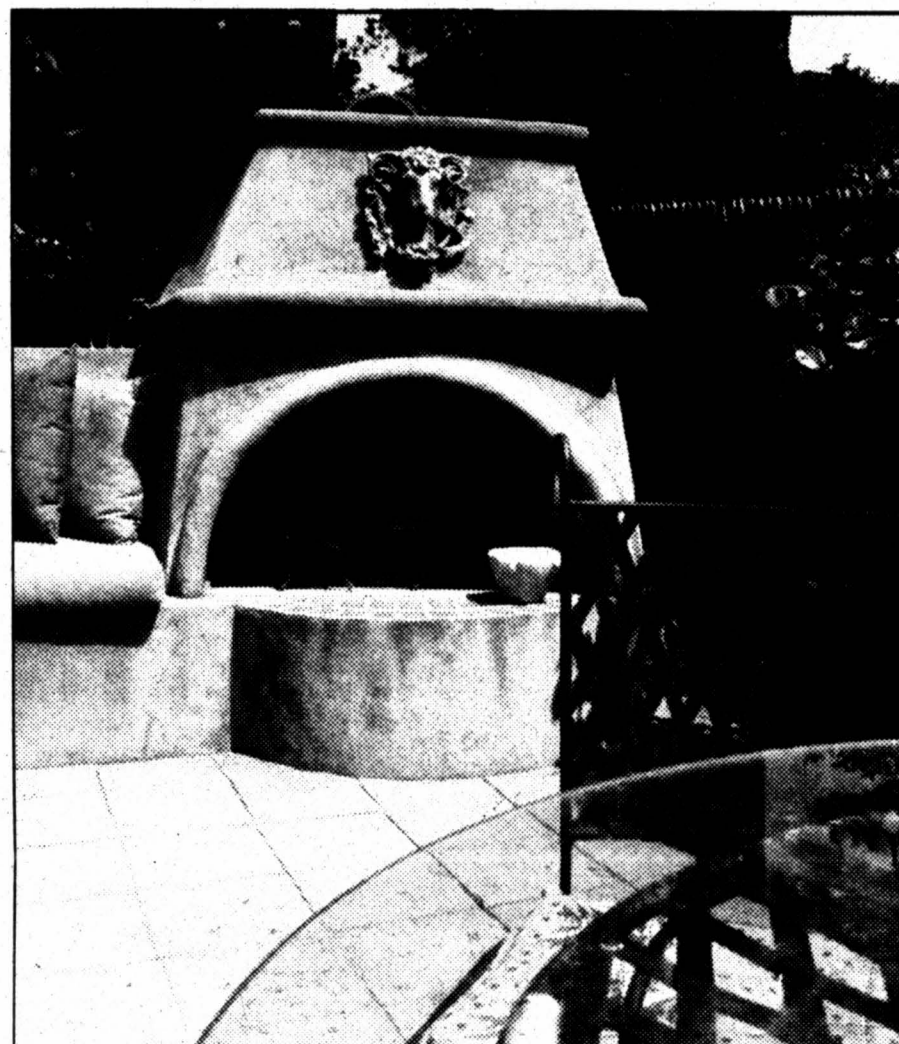
New custom-built home—
ocean views from every room!

OPEN SAT. & SUN. 1-4
24736 San Carlos Street, Carmel

This new 3 bed/2.5 bath "jewel box" of impeccable taste and attention to detail has been designed to maximize ocean views.

Built with the finest materials: custom cabinetry, mirrors, marble, granite, santos mahogany floors, wool carpet, quality appliances, designer lighting, two fireplaces, decks, patios, garage; this is truly a gracious home. Displayed fully decorated. \$2,395,000

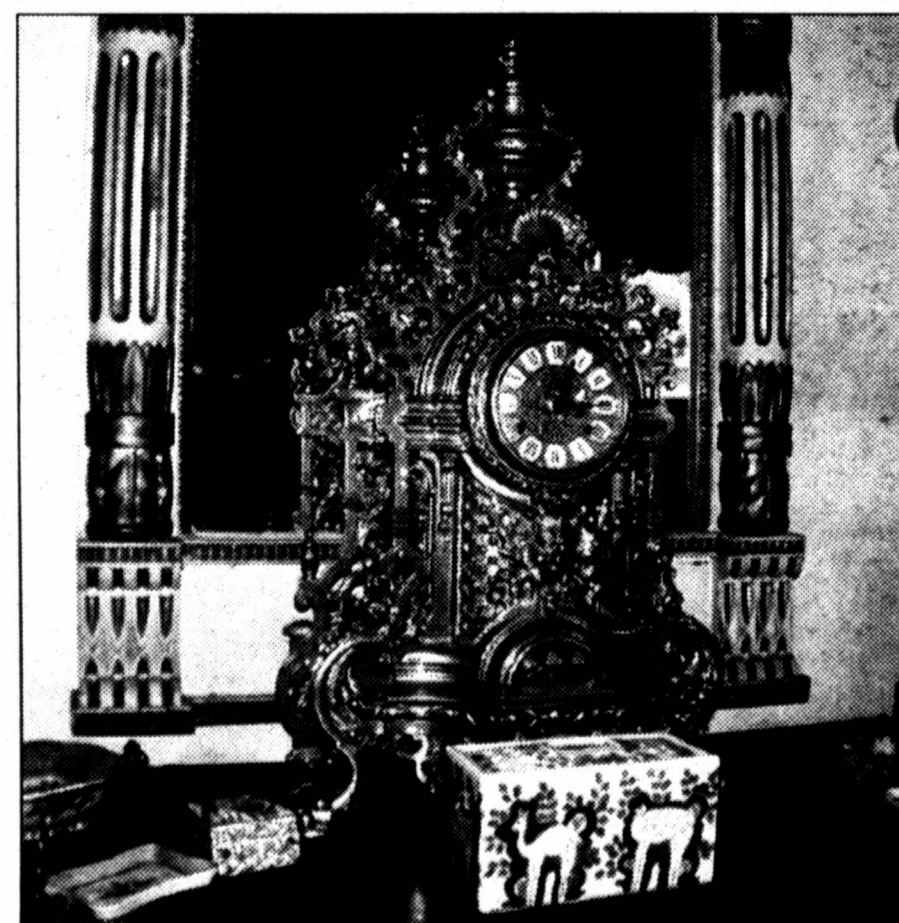
Robert Perkins, Broker
(831) 659-3077



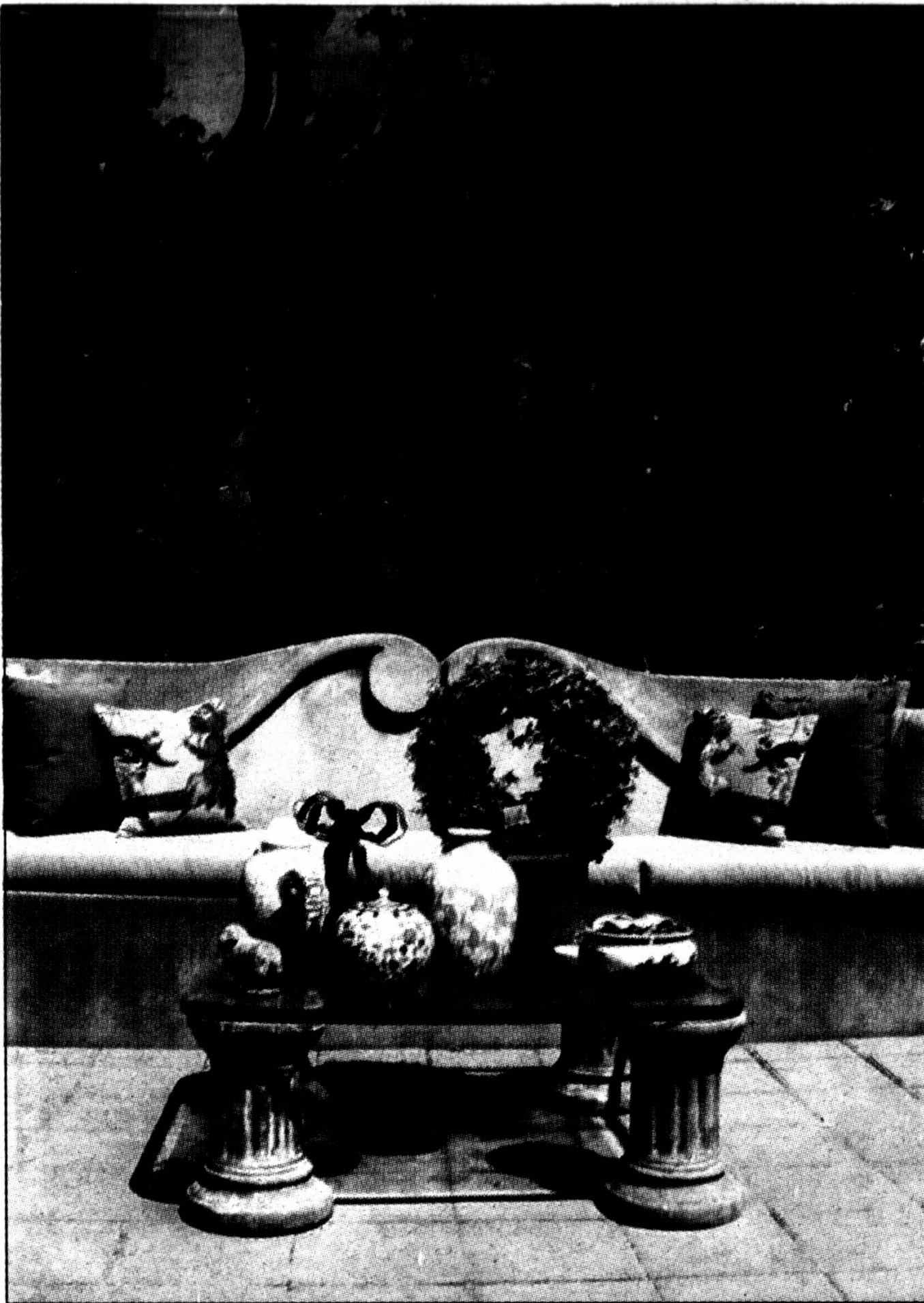
The logs in the outdoor fireplace ignite at the touch of a button.



Serenity is evident in the master bedroom.



Grand European bibelots blend with California casual throughout their home.



A European ambiance is evident in the O'Neal's Carmel garden. Suzanne's exquisite ceramics are displayed indoors and out.

CARMEL

Be the First



TO MOVE INTO THIS CAPTIVATING 3 BED/3 BATH CHARMER... you will be enchanted from the moment you step onto the Carmel stone walkway and enter through the covered entry into the living room featuring hardwood floors and lovely fireplace. Features include granite counters, burnished pine cabinets, vaulted ceilings, bullnose plastering, copper gutters & many more custom features throughout. Two bedrooms upstairs, each with its own bath and filtered ocean views. Located in the "Golden Rectangle" and a short stroll to town and the beach. \$2,195,000.



For more information contact:
S. Lynda Nichols or Dan Hopkins
 (831) 626-2276 or (831) 277-2226
 Email: lynda@nichols-hopkins.com



Viscaino Road Pebble Beach, California

Set above the Lodge in the heart of the estate area, this gracious California ranch style home sits on a 1.2 level acre site. Designed for activity, yet casual living, this home has a spacious floor plan. Within the 3,800 plus square feet are vaulted ceilings, an abundance of windows for natural light and private patio areas for entertaining or a quiet place to retreat.

Offered at \$2,595,000



Mestres Road Pebble Beach

Located on a quiet street, charm and character abound in this Tudor style home. Arched doorways, bay windows, Carmel stone walkway, high vaulted ceilings, enormous great room with grand piano. This home enjoys great privacy and pleasant views of the flower filled gardens. Sunny breakfast nook.

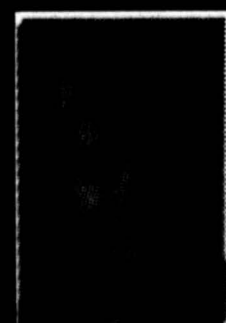
Offered at \$1,250,000

Carmel Riviera Drive Carmel's South Coast

Enjoy the ever changing white waters of the Pacific Ocean from this wonderful cape cod style home in the Yankee Point area of Carmel's south coast. This delightful home is full of light and cozy spaces inside with picturesque private garden spaces outside. Located in a quiet and level area of coastline, there are two private seldom-used beach areas to enjoy as your own.

Offered at \$1,795,000

www.HomesofCarmel.com



ALAIN PINEL
 REALTORS



Carol Dellecker or Jamal Noorzoy
 831.625.6477 831.622.9903



Bayview Avenue Carmel

A masterpiece in the making across from the white sands of Carmel Beach. This home will be replete with all the characteristics of Carmel charm. High vaulted ceilings, rolled wood shake roof, thick bull nose plaster walls, stone walkways and chimneys, and much more down to the minutest detail. There will be 3 bedrooms, 2 1/2 baths, 3 fireplaces, a large 2-car garage. Formal living and dining rooms, family room and spectacular ocean views from almost all rooms. Only 75 steps to the walkway to the sand, this magnificent home will be a true masterpiece with Carmel charm.

Offered at \$5,900,000

Two Carmel Jewels



OCEAN VIEWS...
Over 3,000 sf of remodeled perfection... 2 bedroom suites on main level... New England sleeping loft...

possible in-law quarters on lower level... 3 complete baths... home office... library... wine cellar... oversized lot... flowers... fruit trees... lawn... hard to find anywhere... but steps to Carmel beach and two blocks to town??... A rare find! \$2,950,000.

TWELVE OAKS... Classic country setting on nearly 1/3 acre in the heart of the Carmel area... 1930's architectural craftsmanship in pristine condition... approx. 2,000 sf, 3 BR, 2 BA, formal dining, bright country kitchen, paned windows, random planked oak floors, 2 fireplaces, spacious rooms, sun alcove in master bedroom... two lots of record with extra water credits. \$1,695,000.



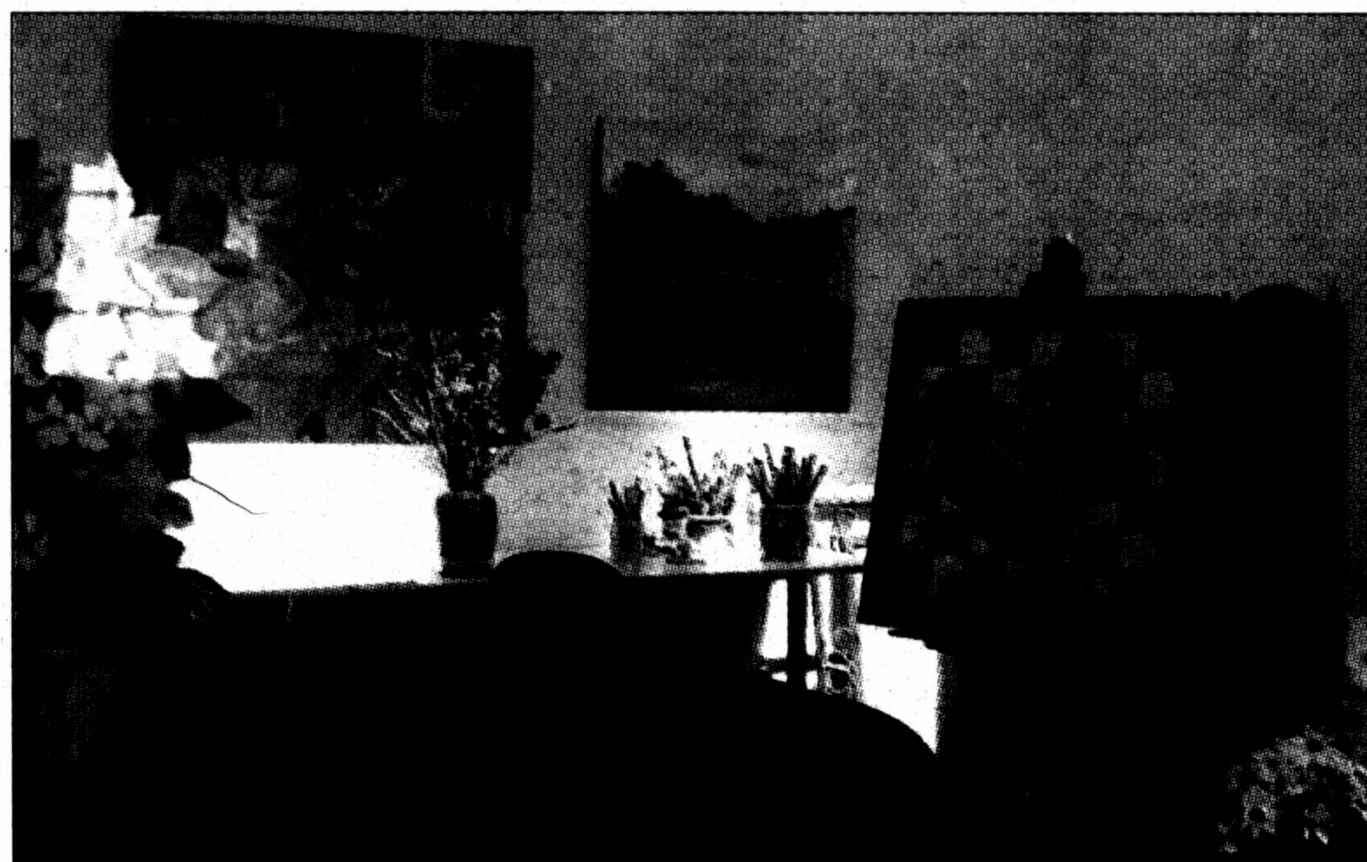
For more information contact:

Rhonda Williams, 622-4648

Email: mwrw@redshift.com
Junipero near 5th, Carmel



Room by room, the O'Neals have transformed their Carmel home from everyday to special. Suzanne's original paintings are everywhere.



The couple can really spread out at their Carmel Valley Village gallery, LyonsHead. Sun pours from a skylight onto Suzanne's work area.

Masaoka Glass Designs

Unique Stained Glass and Leaded Windows



72" x 28" residential window

- Serving the Monterey Peninsula for over 20 years
- State of the art studio and award-winning designs
- On-site design consultation available

Alan Masaoka, Owner • Carmel Valley Village • 831-659-4953

Recycled water tumbles from the mouths of the lions that bequeath their name to the O'Neals' art gallery: LyonsHead, in Carmel Valley Village. It's at 12 Del Fino Place, next to Café Rustica.



FROM PAGE 42B

for me," she recalled.

Ray solved the dilemma.

"Why don't you paint it?" he suggested. Ray's brainstorm made perfect sense. Turn it over, and the rug was a pristine field of jute, not too unlike the canvas used by oil painters.

"The back of the jute was rough, and it was 32-by-16 feet, one of my largest endeavors," Suzanne remembered. "I cut it down, but my fingers got really sore. The skin wore off all my third finger. My knees said no more, so I took my son's old skateboard and put a pillow on it. I reclined on this on my stomach and rolled to the next space. I taped Popsicle sticks to my fingers to protect them against the rough jute."

The O'Neals fell under the spell of Carmel-by-the-Sea years ago. Suzanne, born into a fifth generation Sacramento family, recalls fondly coming here as a child with her grandmother.

"I never thought it would be possible for me to live here," she said. "The house

we have now, we used it as a rental for several years, and then we found ourselves not wanting to go home."

Thus, in 1998, they bid farewell to Lafayette and hello to Carmel.

Their lifestyle is enviable. For years they also kept another home in South Africa, a region that enchanted Ray. But it proved too far afield from their families so they rented out and ultimately sold the house.

Veteran pilot, aircraft owner

Traveling remains a passion for this pair. Ray, a retired captain with Northwest Airlines, owns two small airplanes which he shuttles between Marina Municipal Airport and the Carmel Valley Vintage Airfield. He's been known to indulge in flying rallies in North America, Europe and the Middle East. Circling the Giza pyramids from the sky? Ray O'Neal has done it.

Ray's airplanes turn heads. One is a Chinese Nanching, about 20 years old.

"It's a kind of Chinese fighter plane, very unusual," Ray notes. "It flies marvelously and operates less expensively than many. It's affordable and dependable."

He also owns a Cosmos, manufactured in Dijon, France. This he describes as "very maneuverable. It's a high-performance micro light, about 10 years old, that operates well in unimproved areas."

He flew a Cosmos with floats round the Philippines, enabling him to land on water.

In July and August, the Cosmos factory will loan him a plane to use in a rally from France to England, to Belgium and then back to France.

"The plane folds up, like a laptop computer," he explained. Flying in the



Tools of her trade: Suzanne O'Neal's paint brushes.

company of around 100 airplanes, the rally is expected to travel 300 to 500 miles a day.

"I go up with him sometimes," Suzanne said. "We flew with a rally that

Continues on 49B

Stitches



Incredible Needlepoint Canvases

Sensational Threads

Marvelous Classes

And

June McKnight

380 Foam Street
In Historic Cannery Row
Monterey

831-373-5518
Wednesday thru Saturday
10 to 5



Living Architecture

Landscape Design

Living Architecture specializes in the creation of custom outdoor environments with an emphasis in hardscape as the foundation of design. Our firm offers master planning, planting design and consultations for gardens from San Francisco to Big Sur.

Call us for a consultation 831-469-8018
or visit us on the web at www.Living-Arch.com



Bright bursts of floral color and flourishing citrus trees complement the two-tiered water garden designed by landscape architect Dave McFadden at this home overlooking Carmel Valley Village (left). McFadden has created a little tropical koi fish paradise at his own home in Pacific Grove (above).

WATER

FROM PAGE 26B

"So you end up with all the things you would see in the Carmel River or Arroyo Seco, plus lilies and other ornamental plants and fish." And to those who wonder if water gardens attract raccoons, McFadden said: "Your garbage can will attract more raccoons than a pond — raccoons don't really like to get wet."

McFadden said his designs run from \$5,000 to \$30,000.

"As they get larger, they become less expensive," he said. "And there's really no limit to what can be done." ☉

'Water gardens are economical — efficient pumps require little electricity, and ponds use one-tenth of the amount of water required by a lawn of the same size.'

— Dave McFadden, landscape architect



Linda Aspinwall

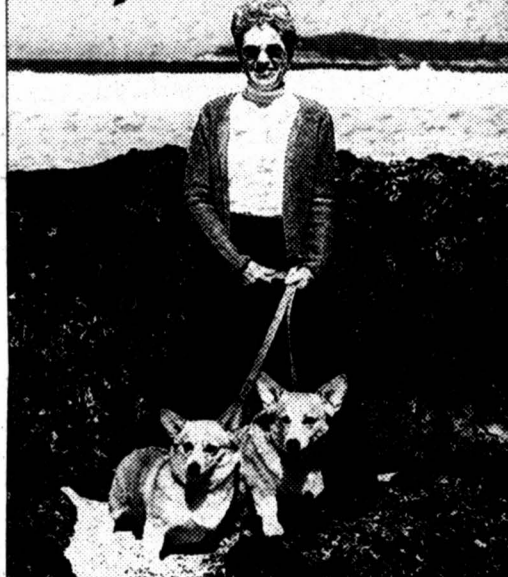
- Received International President's Elite Award
- Top 4% Sales Associate within Coldwell Banker
- Over 38 years local resident

TRUST...INTEGRITY...ENTHUSIASM

Call Linda for the latest listings in Carmel Valley.

(831) 626-8255 Direct
(831) 626-2222 Office

Professional Service With a Smile...



Leslie Newton

Broker, J.D.

For all area homes for sale
www.leslienewton.com

831-622-1040
VM: 620-6153



CARMEL VALLEY

Located just up from mid-valley shopping center in Carmel Valley is this 5 bedroom, 3.5 bath home. An open floor plan with views from almost every room makes this a wonderful retreat, or ideal for a growing family. A loft, playroom, pool and spa are just a few features included in this tree-laden property. \$895,000.

ARCHITECTURAL ELEGANCE

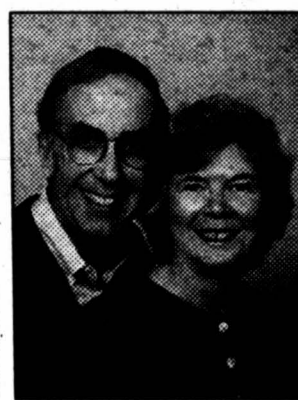
Discover this wonderfully designed and spacious golf course home, situated along the 6th fairway of the Golf Club at Quail Lodge. This 3800 square foot, three bedroom, three-bath property is one of Quail's best kept secrets. Features include high ceilings, wood floors, large rooms throughout and a cozy den with a fireplace for those wonderful rainy days. Truly a well built masterpiece. \$2,250,000.



Peninsula Realty

831.620.8899

Paul and Nellie Brocchini



TEAMWORK BRINGS REAL ESTATE SUCCESS

...Call Paul and Nellie to learn the team approach to selling and buying.

We have published a quarterly analysis of the local real estate market since 1989. For informed assistance in Selling or Buying, call us.

Paul & Nellie Brocchini

Team Real Estate — It Works

For the last word on Carmel Real Estate, call for a FREE subscription to:

THE BROCCINI REPORT

CARMEL/MONTEREY PENINSULA REAL ESTATE UPDATE

Paul and Nellie Brocchini

PO Box 350, Carmel-by-the-Sea CA 93921

TEL 831/624-1414

FAX 831/624-3010

E-MAIL paulnel@carmelabodes.com

Visit our website www.carmelabodes.com



Carmel Valley Lot With an Acre

Great views with southerly exposure. Well water possibilities.

Only \$279,500

Call Rob Gallaway 620-1325



THE MITCHELL GROUP

BUSINESS & RESTAURANTS AVAILABLE

CARMEL BUSINESS SALES, INC. offers the Monterey Peninsula's largest list of available businesses, restaurants, motels and commercial property. Call, write or FAX for our free list.

DON BOWEN

CARMEL BUSINESS SALES, INC.

7th St. East of Monte Verde • Carmel-by-the-Sea
625-5581, FAX 625-2057

MORTGAGE INTEREST RATES

LENDERS	30-YEAR FIXED CONFORMING (LOANS TO \$275,000)			30-YEAR FIXED JUMBO (LOANS OVER \$275,000)			ADJUSTABLE/FIRST (ARM)					
	Rate %	APR	Points	Rate %	APR	Points	Rate %	APR	Points	Max %	Index	Margin
First National Bank 800-832-2223	6.875	7.049	1.125	7.375	7.514	1.125		CALL	FOR	RATES		
Monterey County Bank 649-4600	7.50	7.55	0.00	7.875	7.88	0.00	N/A	N/A	N/A	N/A	N/A	N/A

All Rates have been supplied by the lenders prior to publication, are subject to change, and do not constitute a commitment to lend.



A path at the side of the Bellini home is blanketed by more Old English roses, clematis and trumpet vine.

BELLINI

FROM PAGE 38B

Margaret's passion, though, is growing roses — every one of the 325 she has.

Most of them are Old English roses purchased from "a funky place" in Watsonville called "Flowers of Yesterday & Today."

"You actually buy on the honor system, leaving the money owed in a little wooden box," she said.

She constantly adds new flowers to her garden, which exasperates her husband.

"I can't go by a nursery without going in and looking for something," she confesses. "Michael tries to reason with me by saying, 'Now where are you going to put that? . . . There's no space any more!' but I tell him, 'You always have room!'"

Something else he fails to understand, she says, is her tendency to fearlessly prune down a plant completely.

"My husband says, 'How can you do that?!'" she laughs.

But gardening is one area where she's disciplined.

Sometimes new plants fail to thrive no matter where she moves them.

"I have a friend who says, 'Give it six months and if it doesn't work, then

get rid of it!'" And that's what Margaret does, no matter how much she paid for the problem plant.

Only plants get away with saying "No" to Margaret Bellini. ☺



Prudential
California Realty



Spectacular House — Spectacular Price!

Best priced home in Tierra Grande! Buyers will enjoy magnificent ocean views from mid-Carmel Valley. Beautiful, spacious home, great for entertaining. 4 BD/3 BA with extra large bonus room plumbed for in-law. Owners are relocating and motivated to sell. Price just reduced! OPEN HOUSE SAT. 2-4. \$886,000.....831-626-1447

DIAMOND IN THE ROUGH Million dollar views from this window walled, single level home. 1.38 acres coupled with plenty of well water to create your own personal wonderland. Home is awaiting your personal touch. Land alone is worth the value. 4 BD/ 2.5 BA. OPEN HOUSE SAT. 2-4. \$839,000.....831-626-1447

EXTRAORDINARY RANCH OPPORTUNITY Private bridge leads to your own country paradise. Spacious 4 BD/2 BA home with grand stone fireplace, vaulted ceilings and expansive country kitchen. 40 acres with own well and horse facility. A must see. \$837,000.....831-626-1447

CLOSE TO THE BEACH Desirable Del Monte beach area, newly constructed home. 3 BR/2 BA with vaulted ceilings, hardwood floors, mountain views. OPEN HOUSE SAT. & SUN. 1-4. \$595,000...831-622-3445

LOCATION, LOCATION, LOCATION! Upper Capitola Village contemporary tudor. 3 BR/ 2.5 BA Perfect vacation home. OPEN HOUSE SUN. 1-4. \$834,000....831-334-4826

WORLD CLASS OCEAN VIEW ESTATE HOMESITE w/approved plans for 7500 sq. ft. coastal ranch style residence. Close to Bypass Point & Lodge. \$4,500,000.....831-624-1447

For more details on these properties, call

(831) 620-1995

26135 Carmel Rancho Blvd. #B8
Carmel, CA 93923

BUYER'S REAL ESTATE

(831) 644.9312

532 Abrego St.

Monterey

Carmel - Monterey
Salinas

Call for Free Custom Booklet

We give Complete details on all Multiple Listing Service Properties including addresses and full color pictures.

Full Service representation

We work for You - not the seller, we work for BUYERS ONLY with no sales pressure or obligation.

Save \$\$\$ on Your Home Purchase

All of the commission paid to us by the seller above 1.5% is rebated back to our clients at close of escrow.

www.BuyersRealEstate.com

*We Represent
Buyers Only!*

Specializing in the Monterey Peninsula



The Mitchell Group is conveniently located in Carmel & Carmel Valley.

Sellers - We know how to get you the most for your home!

Buyers - We know all the nooks & crannies of the entire Peninsula!

Call Bob & Yolande Whitlock 659-6809 • Whiz Lindsey 659-6803

www.TheWhitlocks.com

www.carmelpinecone.com

Fouratt-Simmons

REAL ESTATE

Big On Experience Yet Small Enough To Worry
About Every Little Detail



EASY LIVING, PRIVACY, & SUNSHINE can be found in this beautifully maintained, Mid-Carmel Valley, ground floor condominium. There is 1 bedroom, 1 bath, as well as easy access to carport & added storage. **\$275,000.**

Special Values...

PACIFIC GROVE GEM. Beautifully maintained and updated Mission style, 2 bedroom, 1 bath home with coved ceilings, plaster walls, French doors leading to decks, studio/garage & just a short walk to town. Comes with lots of privacy, charm & peeks of the ocean. **\$595,000.**

POINT LOBOS & OCEAN VIEWS. This cute Carmel cottage has 3 bedrooms, 2 baths, (including a downstairs apartment), neat & compact kitchen with bay windows, oak cabinets & tile. The living/dining room is bright & comfortable & comes with a ceiling fan & gas fireplace. **\$635,000.**

VACATION RENTALS. Carmel cottages with a charm & individuality that is the essence of Carmel-by-the-Sea. The beautifully maintained & updated cottages offer 2 bedrooms, 2 baths, inside laundry, fireplace, sofa sleeper, garage & are within walking distance to town. Please call Beverly Allen, ext. 11 for long-term & vacation rental information.

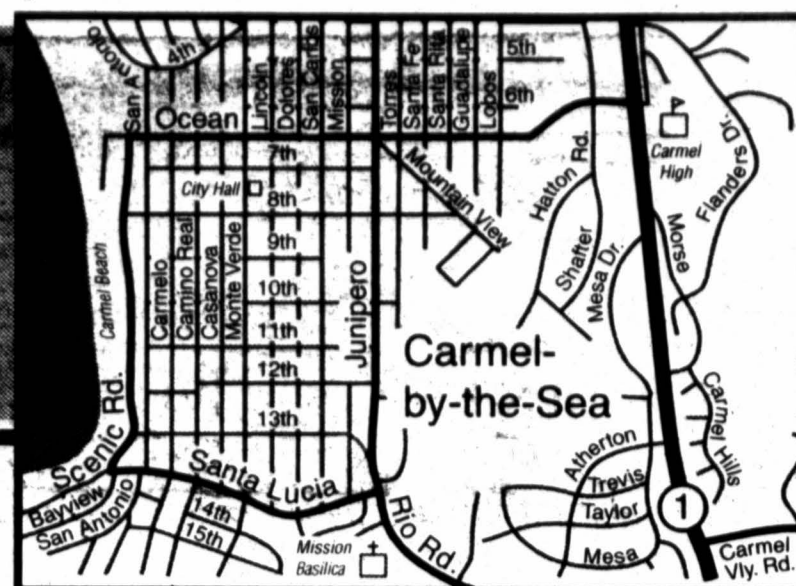


Court of the Golden Bough on Ocean Ave.
between Lincoln & Monte Verde • Carmel

624-3829

www.fouratt-simmons.com

THIS WEEKEND'S OPEN HOUSES June 16 & 17



CAPITOLA

\$834,000 Su 1-4
616 Gilroy Drive
Prudential Carmel
Capitola
620-1995

CARMEL

\$1,595,000 2bd 2.5ba Sa 12-4:30
3 SE Torres at 8th St
Mitchell Group
Carmel
624-0136

\$1,995,000 3bd 2ba Sa & Su 2-4
Santa Fe 3 SW of 3rd
Coldwell Banker Del Monte
Carmel
626-2222

\$1,699,900 3bd 2ba Sa 2-5 Su 2-6
Santa Rita 4 SW of 2nd
Alain Pinel Realtors
Carmel
622-1040

\$1,795,000 3bd 2ba Su 12-2
Camino Real 4 NE Ocean
Mitchell Group
Carmel
624-0136

\$1,850,000 3bd 3ba Su 1-3
2970 Franciscan Way
Coldwell Banker Del Monte
Carmel
626-2222

\$1,895,000 4bd 3ba SaSu2:30-4
3623 Eastfield Rd
Mitchell Group
Carmel
624-0136

\$1,895,000 3bd 2.5ba Sa 2-4
24759 Dolores St x Vista
Coldwell Banker Del Monte
Carmel
626-2222

\$1,950,000 3bd 3ba Sa 2-4
2998 Franciscan Way
Mitchell Group
Carmel
624-0136

\$1,995,000 3bd 2.5+gst hs Sa & Su 2-4
2 NW Guadalupe x 3rd
John Saar Properties
Carmel
625-0500

\$2,169,000 3bd 2ba Sa 10-2
SW Cor of Santa Fe and 3rd
Alain Pinel Realtors
Carmel
622-1040

\$2,195,000 3bd 3ba Sa 2-4 Su 2-4
3 NE Lincoln & 10th
Coldwell Banker Del Monte
Carmel
626-2222

\$2,199,000 4bd 3ba Su 1-4
Camino Real 3 NW of 8th
Alain Pinel Realtors
Carmel
622-1040

\$2,250,000 2bd 2.5ba+gst hs Su 2-4
26289 Isabella x 16th
John Saar Properties
Carmel
625-0500

\$2,350,000 3bd 2ba Sa & Su 2-4
25706 Hatton Rd x Mountain View
Coldwell Banker Del Monte
Carmel
626-2222

\$2,395,000 3bd 2.5ba Sa & Su 1-4
24736 San Carlos St
Robert Perkins, Broker
Carmel
659-3077

\$2,595,000 2bd 2ba+gst hs Sa 1-4
2501 San Antonio x 14th Ave
Carmel Realty
Carmel
624-6482

\$2,998,000 3bd 3ba Sa & Su 2-4
26386 Isabella x Scenic
Carmel Realty
Carmel
624-6482

\$3,495,000 4bd 4+ba Sa11-1 Su1-4
26162 Ladera x Rio Rd
Alain Pinel Realtors
Carmel
622-1040

\$5,900,000 3bd 3ba Su 2-4
2510 Bay View x Santa Lucia
Alain Pinel Realtors
Carmel
622-1040

\$1,595,000 2bd 2.5ba Sa 12-4:30
3 SE Torres at 8th St
Mitchell Group
Carmel
624-0136

\$1,695,000 3bd 2ba Sa & Su 2-4
Santa Fe 3 SW of 3rd
Coldwell Banker Del Monte
Carmel
626-2222

\$1,699,900 3bd 2ba Sa 2-5 Su 2-6
Santa Rita 4 SW of 2nd
Alain Pinel Realtors
Carmel
622-1040

\$1,795,000 3bd 2ba Su 12-2
Camino Real 4 NE Ocean
Mitchell Group
Carmel
624-0136

\$1,850,000 3bd 3ba Su 1-3
2970 Franciscan Way
Coldwell Banker Del Monte
Carmel
626-2222

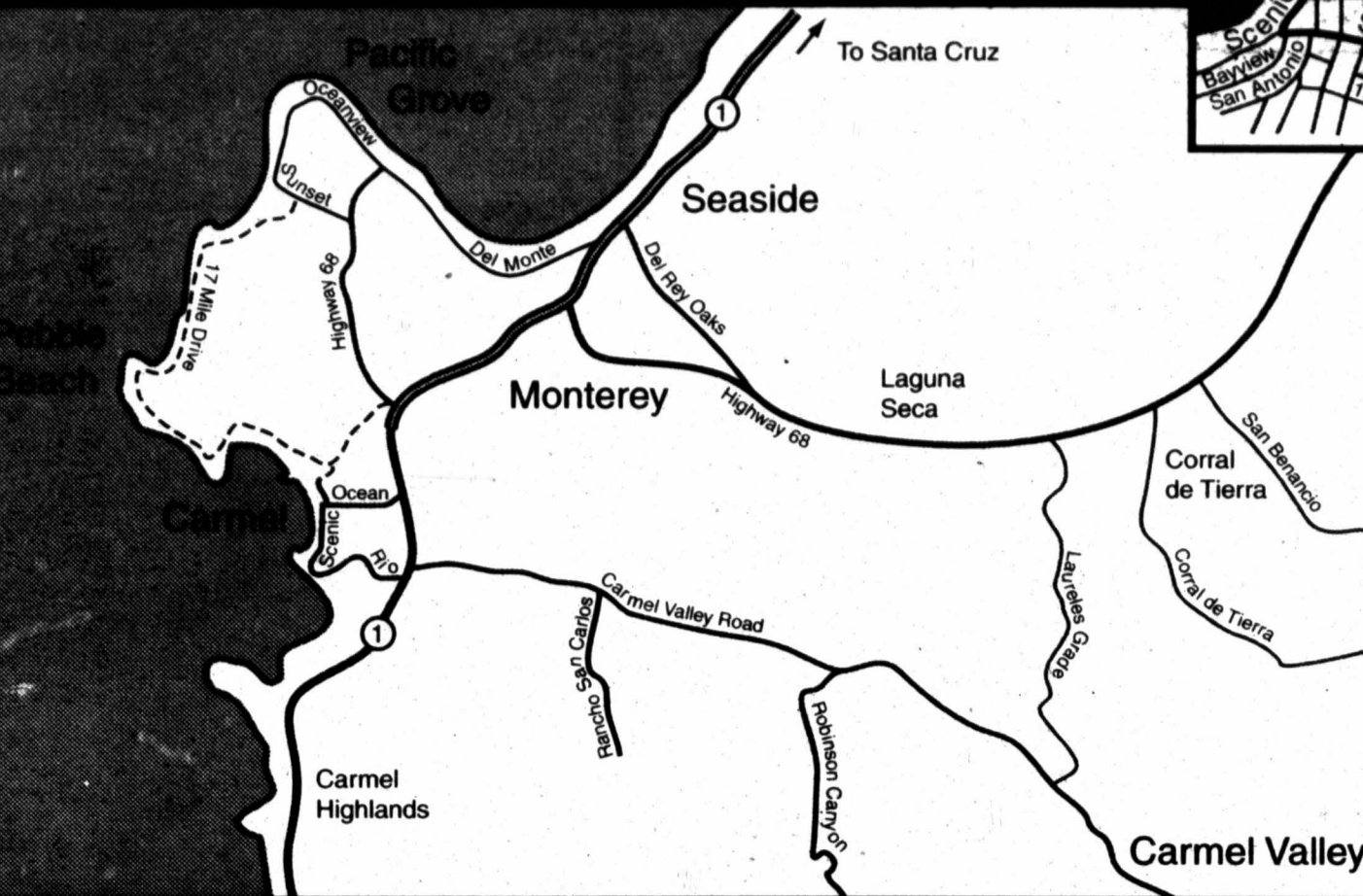
\$1,895,000 4bd 3ba SaSu2:30-4
3623 Eastfield Rd
Mitchell Group
Carmel
624-0136

\$1,895,000 3bd 2.5ba Sa 2-4
24759 Dolores St x Vista
Coldwell Banker Del Monte
Carmel
626-2222

\$1,950,000 3bd 3ba Sa 2-4
2998 Franciscan Way
Mitchell Group
Carmel
624-0136

\$1,995,000 3bd 2.5+gst hs Sa & Su 2-4
2 NW Guadalupe x 3rd
John Saar Properties
Carmel
625-0500

\$2,169,000 3bd 2ba Sa 10-2
SW Cor of Santa Fe and 3rd
Alain Pinel Realtors
Carmel
622-1040



\$2,195,000 3bd 3ba Sa 2-4 Su 2-4
3 NE Lincoln & 10th
Coldwell Banker Del Monte
Carmel
626-2222

\$2,199,000 4bd 3ba Su 1-4
Camino Real 3 NW of 8th
Alain Pinel Realtors
Carmel
622-1040

\$2,250,000 2bd 2.5ba+gst hs Su 2-4
26289 Isabella x 16th
John Saar Properties
Carmel
625-0500

\$2,350,000 3bd 2ba Sa & Su 2-4
25706 Hatton Rd x Mountain View
Coldwell Banker Del Monte
Carmel
626-2222

\$2,395,000 3bd 2.5ba Sa & Su 1-4
24736 San Carlos St
Robert Perkins, Broker
Carmel
659-3077

\$2,595,000 2bd 2ba+gst hs Sa 1-4
2501 San Antonio x 14th Ave
Carmel Realty
Carmel
624-6482

\$2,998,000 3bd 3ba Sa & Su 2-4
26386 Isabella x Scenic
Carmel Realty
Carmel
624-6482

\$3,495,000 4bd 4+ba Sa11-1 Su1-4
26162 Ladera x Rio Rd
Alain Pinel Realtors
Carmel
622-1040

\$5,900,000 3bd 3ba Su 2-4
2510 Bay View x Santa Lucia
Alain Pinel Realtors
Carmel
622-1040

CARMEL VALLEY

\$275,000 1bd 1ba Su 1-3
9500 Center St #7
Fouratt-Simmons
Carmel Valley
624-3829

\$285,000 1bd 1ba Sa 3-5
9500 Center #64 x Dorris Dr
Alain Pinel Realtors
Carmel Valley
622-1040

\$595,000 3bd 2ba Su 1-3
131 E Carmel Valley Rd
Coldwell Banker Del Monte
Carmel Valley
626-2222

\$799,000 3bd 2ba Sa10:30-1:30
374 Ridge Way x Country Club
Alain Pinel Realtors
Carmel Valley
622-1040

\$825,000 4bd 2.5ba Sa 2-5
12195 Carola Dr x Saddle Rd
Alain Pinel Realtors
Carmel Valley
622-1040

\$825,000 3bd 2ba Sa 1-3
27145 Meadows Rd
Mitchell Group
Carmel Valley
624-0136

\$886,000 Sa 2-4
25605 Tierra Grande
Prudential Carmel
Carmel Valley
620-1995

\$950,000 4bd 3ba Su 2-4
25430 Via Cicindela
Coldwell Banker Del Monte
Carmel Valley
626-2222

\$985,000 5bd 3ba Sa 2-5 Su 1-4
25640 Tierra Grande Dr
Alain Pinel Realtors
Carmel Valley
622-1040

\$995,000 3bd 3.5ba Su 2-5
10629 Hillside Lane
John Saar Properties
Carmel Valley
625-0500

\$1,079,000 2bd 2.5ba Sa 2-4
230 W Carmel Valley Rd
Mitchell Group
Carmel Valley
624-0136

CARMEL VALLEY

\$1,149,000 3bd 2.5ba Sa 2-4
10630 Hillside Lane
Mitchell Group
Carmel Valley
624-0136

\$1,295,000 4bd 2.5ba Su 1-3
4 Pablo Place
Coldwell Banker Del Monte
Carmel Valley
626-2221

\$1,395,000 3bd 2.5ba Sa 1-3 Su 2-3
25140 Pine Hills Dr x Outlook
Coldwell Banker Del Monte
Carmel Valley
626-2222

\$1,990,000 3bd 4ba Sa 2-4
26030 Rotunda Dr x Rancho Rio
Coldwell Banker Del Monte
Carmel Valley
626-2223

CARMEL HIGHLANDS

\$879,000 3bd 2ba Sa 1-3
119 Oak Way x Fern Cyn
Crmil Highland
Carmel Highlands
626-2221

\$1,950,000 3bd 3ba Sa 1-4
89 Yankee Point
Mitchell Group
Crmil Highland
624-0136

\$2,400,000 5bd 4ba Su 1-3
75 Mt Devon x Cypress Way
John Saar Properties
Crmil Highland
625-0500

\$4,295,000 4bd 3.5ba Su 1:30-4
108 Yankee Point
Mitchell Group
Crmil Highland
624-0136

DEL REY OAKS

\$479,000 3bd 2ba Su 2-4
12 Setter Place x Portola
Coldwell Banker Del Monte
Del Rey Oaks
626-2223

\$749,000 3bd 2.5ba Sa 1-3
75 Corral de Tierra Rd
Coldwell Banker Del Monte
Hwy 68
626-2222

\$749,000 3bd 2.5ba Sa 1-3
75 Corral de Tierra Rd
Coldwell Banker Del Monte
Hwy 68
626-2222

MONTEREY

\$399,000 3bd 2ba Sa 1-3
1661 David Ave
Coldwell Banker Del Monte
Monterey
626-2221

\$475,000 2bd 2ba Sa 2:30-5
30 Montsalas x Old Sins Hwy
Alain Pinel Realtors
Monterey
622-1040

\$485,000 2bd 1ba Su 1-4
656 Jessie x Prescott
Alain Pinel Realtors
Monterey
622-1040

\$550,000 2bd 2ba Sa1-2 Su1-3
638 Lottie x Prescott
Coldwell Banker Del Monte
Monterey
626-2226

\$595,000 Sa & Su 1-4
195 Surf Way
Prudential Carmel
Monterey
620-1995

MONTEREY

\$699,000 3bd 2ba Sa1-4 Su12-2
674 Van Buren Cir
Mitchell Group
Monterey
624-0136

\$725,000 3bd 2ba Su 2-4
247 Mar Vista Dr
Coldwell Banker Del Monte
Monterey
626-2222

\$739,000 2bd 2ba Sa 2-5
120 Caledonia
Mitchell Group
Monterey
624-0136

\$1,275,000 3bd 2.5ba Sa10-1Su2-6
117 Don Dahvee x Alta Mesa
Alain Pinel Realtors
Monterey
622-1040

MONTEREY/SLNS HWY

\$498,800 3bd 2ba Sa 2-4
26498 Honor Lane
Coldwell Banker Del Monte
Mtry/Sins Hwy
626-2222

\$725,000 4bd 3ba Su 2-6
27171 Prestancia
Alain Pinel Realtors
Mtry/Sins Hwy
622-1040

\$749,900 4bd 3ba Su 1-4
22630 Domino
Alain Pinel Realtors
Mtry/Sins Hwy
622-1040

\$839,000 Sa 2-4
285 Los Laureles Grade Rd
Prudential Carmel
Mtry/Sins Hwy
620-1995

\$1,250,000 3+bd 3.5ba Sa 2:30-4:30
25010 Hidden Mesa Court
Alain Pinel Realtors
Mtry/Sins Hwy
622-1040

PACIFIC GROVE

\$445,000 2bd 2ba Sa 1:30-3:30
1108 Heather Lane
Coldwell Banker Del Monte
Pacific Grove
626-2222

\$459,000 2bd 1ba Su 1-3
824 2nd St x Sinex
Coldwell Banker Del Monte
Pacific Grove
626-2226

\$515,000 3bd 1.5ba Sa 1-3
508 10th St
Mitchell Group
Pacific Grove
624-0136

\$519,000 2bd 1ba Sa 1:30-3:30
144 14th St x Central
Coldwell Banker Del Monte
Pacific Grove
626-2226

\$549,000 2bd 2ba Sa 12-2
53 Country Club Gate
Mitchell Group
Pacific Grove
624-0136

\$599,000 2bd 1ba Su 2-5
611 Pine St
Alain Pinel Realtors
Pacific Grove
622-1040

\$635,000 3bd 2ba SaSu1-3:30
421 Sinex
Coldwell Banker Del Monte
Pacific Grove
626-2222

\$649,500 2bd 2ba Sa Su 1-4
801 Laurel x Willow
Alain Pinel Realtors
Pacific Grove
622-1040

\$650,000 2bd 2ba Sa 2-4
406 Willow St x Pine Ave
Coldwell Banker Del Monte
Pacific Grove
626-2221

\$678,900 4bd 3ba Sa 2-4
1024 McFarland
Coldwell Banker Del Monte
Pacific Grove
626-2222

\$695,000 3bd 2ba Sa & Su 1-4
821 Cedar x Sinex
Coldwell Banker Del Monte
Pacific Grove
626-2222

\$975,000 3bd 2ba+gst hs Su 1-3
245 Crocker Ave x Pico
Coldwell Banker Del Monte
Pacific Grove
626-2221

\$1,150,000 2bd 2ba Su 1-4
960 Egan
Alain Pinel Realtors
Pacific Grove
622-1040

PEBBLE BEACH

\$475,000 2bd 2ba Sa 1-4
46 Shepherd's Knoll x 17-Mile Dr
John Saar Properties
Pebble Beach
625-0500

\$790,000 3bd 3ba Sa & Su 1-3
2838 Congress Rd x Majella St
Coldwell Banker Del Monte
Pebble Beach
626-2222

See OPEN HOUSES page 51B



Bob Walker
622-1198



Zable Johnston
622-1005



Peter Rasmussen
622-1194



Beryl Arnot
622-1008



Ken Baker
622-1009



Jane Durant Jones
622-1006



Steve Mongillo
622-1007

- Pre-approvals for real estate purchase.
- Conforming loan amount to \$275,000 allows for most aggressive interest rates.
- Specializing in Jumbo and super Jumbo loans.

- Refinancing? Call for a free savings analysis.
- Consolidate 1st and 2nds. No points, no fee loans.
- Use your equity for education, investment or debt consolidation.

Local Offices: Carmel, Salinas & Morgan Hill www.PacificHomeLoans.com

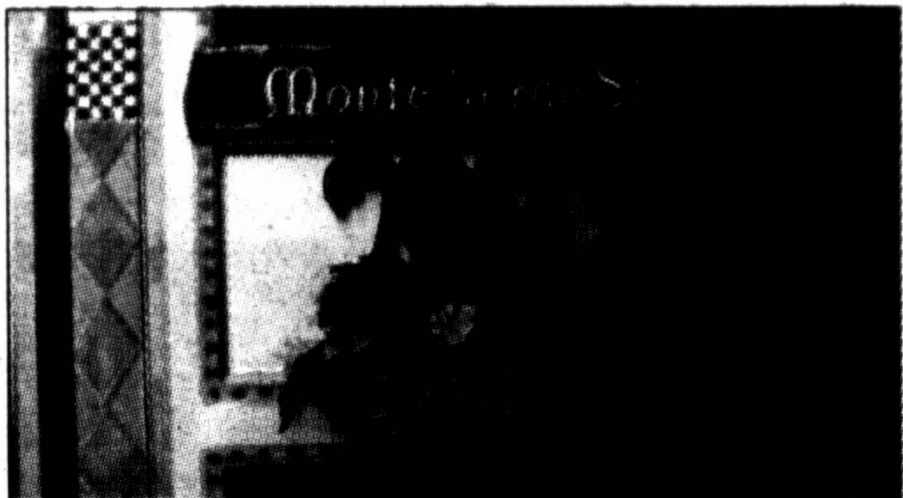
P H L

Pacific Home Loan
Services, Inc.

Dolores btwn. 7th & 8th
Carmel-by-the-Sea
(831) 622-1010

"Financing the Greater
Central Coast & Valley"

DRE #01263243



A Carmel-by-the-Sea street sign of yore has turned civilian on the O'Neals' property.

FROM PAGE 45B

started in Nevada and went down the California coast to Mexico and then back to Palm Springs. Our life is kind of crazy."

Their gallery and their home echo European warmth. And is it any wonder? The O'Neals pay regular visits to Europe, where years ago Suzanne forged a friendship with a family who kept a manor house in the south of France.

"We started a trade. We'd stay there three months at a time, once for five months. I kept art supplies there, and clothes in the closet," Suzanne said. The French manor house boasts a large limestone building that became her atelier.

"You open the door and the sun bursts in," she recalled.

Suzanne reserved praise for the hospitality of her many European friends, who are delighted to visit Carmel whenever they can.

"They seem to be on the go like we are, but they seem to take time to smell the roses more than we do," she mused. "They are actively social people, enjoying long lunches and dinners. They are really into food. They are confident and cook up a storm. I have been at a friend's house where there were no plans for the day and then there would be 20 folks for dinner."

The O'Neals have been together a decade, having met at a lecture in San Francisco delivered by psychiatrist Rollo May.

"We married in France at a friend's home," she recalled. "Our French friend who makes those airplanes flew over, dropping bushels of rose petals."

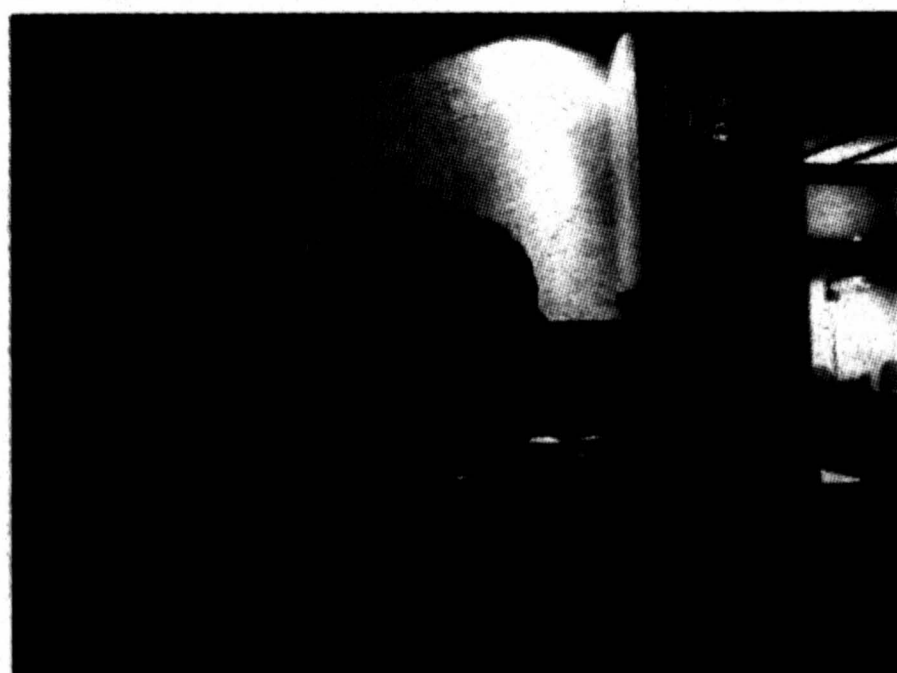
Despite the pull of adventures around the world, Suzanne maintains "this is home, definitely. Nothing gets better than this. I almost feel I don't want to go anywhere anymore."

It isn't simply places that exert their call on this peripatetic pair. It is friendship.

"Our life is very full of people," said Suzanne, fresh from a telephone call to France. "We're both people persons. We make an effort. We love people. We reach out, and people reach out to us." ☺



A faux-finished wall shares space with faux frogs and a genuine O'Neal oil painting.



A storage area turns fanciful at Suzanne O'Neal's touch.

Alain Pinel Realtors

YOUR GALLERY FOR FINE HOMES

ARCHITECTURAL DREAM in Carmel

Originally built for one of Carmel's writers, this 2 BD, 2 BA home is itself a contemporary work of art. Constructed of quality materials, with expansive windows and a dramatic cherry staircase leading up to a loft overlooking the entire home, this residence creates a tranquil haven ~ just 4 easy blocks to town!

~ Offered at \$1,195,000 ~



A WORK OF ART in Carmel

Combine redwood, Spanish tile, brick, and glass; add a variety of angles, skylights and a ceiling that soars to 18 feet. Include a romantic guest cottage, surround it all with an English garden setting, and you have *Lasata* ~ the 'House of Peace.'

~ Offered at \$1,260,000 ~



OUTSTANDING VIEWS in Carmel

This magnificent residence offers incredible views of Carmel Mission, Point Lobos and the vast Pacific. The spacious floorplan includes a large downstairs bedroom with half bath, totally private from the rest of the house.

~ Offered at \$3,495,000 ~

EVERYTHING INCLUDED in Carmel

Masterfully remodeled, this home is both cozy and elegant, completely turn-key with all top quality, name-brand furnishings, appliances, housewares and linens included ~ in a premier Carmel Point location just a short distance to the sea!

~ Offered at \$2,595,000 ~



ALAIN PINEL
REALTORS

Junipero b w 5th & 6th ~ Carmel-by-the-Sea

831.622.1040

www.APR-CARMEL.com

The secret fuchsia garden of Pacific Grove

Story and photos by KIRSTIE WILDE

CARMEL REALTY COMPANY

Established 1913



CARMEL POINT

Beautiful ocean views. Just steps to the beach. A 2-bedroom, 2-bath cottage. Plus 1-bedroom, 1 bath Guest House. On a large 70 x 100' lot with privacy. Great potential. \$2,595,000.



HIGH MEADOW HOME

In a private gated community. An elegant French Normandy. Two bedrooms, plus den, 2.5 baths. 2-Car garage. \$975,000.



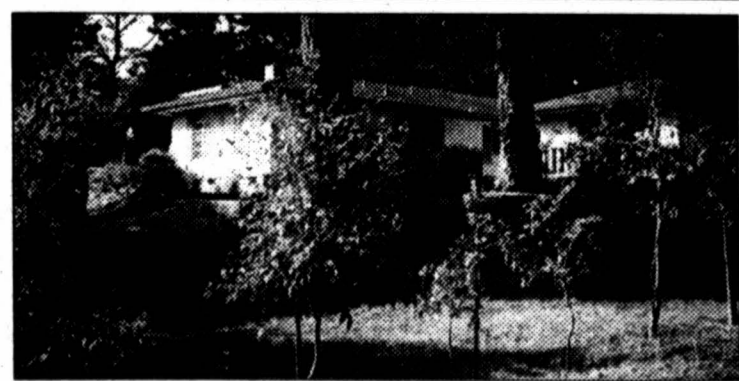
PRIME CARMEL LOCATION

South of Ocean Avenue. Lovely ocean views. A spacious, 3-bedroom, 3-bath home. \$1,695,000.



LOCATION! LOCATION! LOCATION!

On Carmel Point, just steps to the beach. Architecturally stunning with sounds of the sea & ocean views. 3 Bedrooms, 3 baths. Waiting to be restored to its original beauty. \$2,998,000.



GREAT PEBBLE BEACH LOCATION

Overlooking the 1st Fairway of the proposed Pebble Beach Golf Course. A comfortable 4-bedroom, 3.5 bath, ranch-style home. On over 3/4 of an acre. A short stroll to P.B. driving range. \$2,990,000.

CARMEL REALTY COMPANY

Sales, Rentals, Property Management

Dolores, South of Seventh
P.O. Drawer C., Carmel 93921

PHONE 624-6482 ANYTIME

e-mail: office@carmel-realty.com

Internet: <http://www.carmel-realty.com>

AS FRANCES Grate proclaims, the Monterey Peninsula is the perfect habitat for fuchsias, then why are the specimens in so many gardens particularly pathetic? Why does a fuchsia come home from the nursery lush with masses of dancing flower ballerinas, only to be transformed into a sad bunch of sticks by the following season?

The answer is probably the microscopic fuchsia gall mite, a critter that came through the Peninsula in such masses 20 years ago that the fuchsias in Frances Grate's garden — along with most everybody else's — were nearly wiped out. After studying the genus for more than 40 years, Grate has some theories about how the galling lit-



After 40 years of growing and studying fuchsias, Frances Grate has prevailed over their worst enemy, the gall mite. Here she admires a basket of *Fuchsia fulgens*.

tle mite does its damage, and how best to combat it. She also has one of the most beautiful fuchsia gardens on the Peninsula, showcased at the first Pacific Grove Heritage Society's Secret Gardens Tour, which raised \$3,000 at its premiere May 5.

Grate has a large variety of specimens in her shady fuchsia garden, all either survivors of, or collected since the Great Fuchsia Mite Rampage of the 1980s. She has generously supplied specimens to others, both nurseries and residents, to rebuild their fuchsia gardens.

"I don't like the large, over hybridized junk," Grate says of the double fuchsias she shuns. Instead, she agrees with the hummingbirds, who prefer single fuchsias like the tiny purple *Fuchsia hybrida* "First Success" because they can get to the nectar easily. The big, frilly, double flowers are often sterile, according to Grate, because the pollinators can't get to the pollen.

Her specimens all have a graceful quality, a distinctiveness that caught the eye of many of the 300 people who toured her garden in May. Two of her favorites are *Fuchsia hartwegii* — discovered in Colombia in 1845 — and, especially, *Fuchsia hybrida* "Corralina" which was displayed at the first California State Fair in 1854.

"Essentially the world came to California during the Gold Rush," Grate explained. "People in London and Paris had fallen in love with exotic plants — things like fuchsias, pelargonium, dahlias — that they discovered when ships returned from exotic places with terraria full of live plants. For 500 years, the Spanish trading vessels sailed from Europe to South America to Central America and ended up at the Custom House in Monterey."

It's no wonder that Grate's favorite garden (besides her own) is the historic garden at the Cooper Molera Adobe in downtown Monterey, which she designed in 1985 as an "historically, horticulturally correct" display. In other words, all the plants she installed could have been found in a Monterey garden before 1865. "When I was doing it, I had an awful time locating proper plants," she recalled. "Now old-fashioned gardening is popular and you can buy many of the classics at the nursery."

And Grate's favorite classic fuchsia, "Corralina" is also apparently immune to the voracious little mite that stalks its showy cousins, erupting with large, ugly masses of distorted leaves that are sometimes covered with reddish



Whether they be the dramatic purple *Fuchsia hybrida* or the hummingbird-pleasing *Fuchsia hartwegii* (inset, below) Frances Grate's specimens all have a distinctive, graceful quality.

hairs. Her advice for those whose fuchsias are bedraggled: Show no mercy.

"After you take all the leaves off in the winter, use a strong dormant spray like Isotox IV. Then in the spring, if anything distorted begins to grow, pinch it off and dispose of it in a plastic bag. You can spray Isotox IV again at the first sign of damage. My theory is, if you help the plant help itself, it can survive. But if it is already weakened, don't simply hope it will come back. This requires vigilance and the willingness to destroy a plant that seems to be prone to the mite. You must be ruthless!"

But after her dander is back down, Grate can serenely bask in the glory of the breezy ballet put on by the fuchsias in her garden. She trains them into trees and lets them weave themselves through the trellis, up and over the fence, their pink, purple, red, orange and white ballerinas trembling in the morning fog and dancing in the dappled shade of afternoon. ☼



Grate's favorite, *Fuchsia hybrida* "Corralina," is immune to the parasitic fuchsia mite. Corralina was displayed at the first California State Fair in 1854.

OPEN HOUSES

From page 48B

PEBBLE BEACH

\$799,000	3bd 2ba	Su 1-4
3155 Middle Ranch Road	Pebble Beach	622-1040
Alain Pinel Realtors		
\$825,000	3bd 2ba	Sa 2-5
1121 Sawmill Gulch x Congress	Pebble Beach	622-1040
Alain Pinel Realtors		
\$895,000	3bd 2.5ba	Sa 2-5 Su 1-2
3106 Hermitage x Sloat	Pebble Beach	625-0500
John Saar Properties		
\$895,000	3bd 2.5ba	Sa 2-4
4071 Sunset Lane x Sunridge Rd	Pebble Beach	625-0500
John Saar Properties		
\$899,000	3bd 2ba	Sa & Su 1-4
3046 Lopez Rd	Pebble Beach	624-8181
Carver Realty		
\$1,150,000	3bd 2ba	Sa Su 2-4
3029 Birdrock x San Carlos	Pebble Beach	622-1040
Alain Pinel Realtors		
\$3,975,000	5bd 4.5ba	Su 2:30-4:30
3179 Palmero Way	Pebble Beach	626-2223
Coldwell Banker Del Monte		
\$4,100,000	3bd 4ba	Sa 1-3
3294 Stevenson Dr x Alva	Pebble Beach	626-2226
Coldwell Banker Del Monte		

\$4,500,000	5bd 5.5ba	Sa 1-4 Su 12-2
2967 Old 17-Mile Dr	Pebble Beach	624-0136
Mitchell Group		
\$4,500,000		Su 2-5
3320 Kingsley Ct x Del Cervo	Pebble Beach	625-0500
John Saar Properties		

SALINAS

\$270,000	2bd 2ba	Sa 1-4
1067 Padre #2 x Blanco	Salinas	622-1040
Alain Pinel Realtors		

SEASIDE

\$350,000	3bd 1ba	Sa 3-5 Su 11-2
1785 Soto St	Seaside	622-1040
Alain Pinel Realtors		
\$429,000	3bd 2ba	Su 2-4
1357 Terrace Ave	Seaside	624-0136
Mitchell Group		
\$429,000	3bd 2ba	Su 2-4
1361 Terrace Ave	Seaside	624-0136
Mitchell Group		

*Looking for your dream home
in Carmel, Pebble Beach,
Carmel Valley or Big Sur?
Make your first stop
The Carmel Pine Cone's
Real Estate Section*

MOVING AWAY?

Keep up with Carmel with a subscription to
The Carmel Pine Cone.
Call 624-0162 and ask for rate information.

POLICE LOG

From page 21B

guished at 11:55 p.m. near 13th and Scenic.

Carmel area: Anonymous caller reported juveniles gathered on Monastery Beach. Deputy found numerous vehicles were in violation of a county parking ordinance. The juveniles, from Pacific Grove High School, were advised to leave.

Carmel Valley: Report of juveniles hitting golf balls in the Rancho Canada greens, disrupting the players. No injuries and the juveniles were gone on deputy's arrival.

Carmel area: Handley Dr. resident reported someone she did not know was parked in her driveway.

Pebble Beach: On Sloat Road, a Phoenix man reported having problems with his landlord in Pebble Beach.

Carmel area: A woman took an overdose of sleeping pills. Admitted to CHOMP for evaluation.

Carmel Valley: At Mexican restaurant, drunk male reportedly harassing patrons. Upon deputies' arrival, manager said everything was fine and out assistance was no longer needed.

Carmel Valley: Complaints of dogs barking on Nason Road. Contacted woman who said she was taking care of dogs while their owners were out of town. Reporting party happy dogs were all right.

FRIDAY, JUNE 8

Carmel-by-the-Sea: Report of a tan vehicle driving around ball field at Larson Field. Upon arrival vehicle was gone on arrival.

Carmel-by-the-Sea: Woman fell at Picadilly Park, suffering multiple abrasions to the face.

Carmel-by-the-Sea: Report of a fire inside wall at clothing store on Ocean. Officer arrived and a moderate amount of smoke was coming from behind a light switch. Officer located the main power breaker to the business and when it was turned off the fire appeared to be extinguished. CFD confirmed fire was extinguished. Business advised to leave main power off until an electrician determined what the problem was.

Carmel-by-the-Sea: Assisted CFD with a female subject who passed out and fell on Palou near Monte Verde, injuring the back of her head. Transported to CHOMP by ambulance.

Carmel-by-the-Sea: Clothing store reported an Augustina Popcorn sweater missing after two juvenile females had been looking at it. Value \$85. Owner didn't want prosecution, she just wanted her sweater back.

Carmel-by-the-Sea: Resident on Flanders Way locked herself out of her house and yelled for help. A neighbor heard her yell and called police. Resident assisted in gaining entry to her house.

Carmel-by-the-Sea: Report of loud music at Ocean and Carpenter. All quiet on arrival.

Carmel Valley: Two marijuana plants found on patio at home on Ford Road. Residents said plants belonged to their son. He admitted growing plants for his own use. Case referred to district attorney for prosecution.

SATURDAY, JUNE 9

Carmel-by-the-Sea: A landlord/tenant dispute resulted in complaint that a woman might try to break into a storage locker to retrieve her belongings. Both parties have retained attorneys regarding the matter.

Carmel Valley: Arrest warrant served on man at golf course.

Have You Been Pre-qualified By Other Offices & Unhappy With The Results?

Honestly serving the community with professional service. Call for more information.



Mission Hills Mortgage Bankers

CALL MARKUS OR LAURA: 831-622-8484

Mortgage Lender Under The Dept. Of
Corporations
Lic. by the CA. DEPT. OF REAL ESTATE



Pine Cone Prestige Classifieds

831.624.0162

FOR DISCRIMINATING READERS

Commercial for Rent

CARMEL COMMERCIAL/OFFICE
Lincoln court 500 s.f./a Between 5th
and 6th. Private bathroom, fireplace.
\$1100 per month. 620-1899 or 625-
5090. 6/22

PLACE YOUR AD HERE
NOW! FAX 624-8463

House for Sale

PEBBLE BEACH
Beautifully remodeled 3bd/2ba
Towering oaks, marble and
granite baths. Open floor plan.
Move in condition.
REDUCED TO \$929,000
831-647-8460

House for Sale

Country in the City!
Almost 4 acres near ocean, river,
and golf resort! Older solid 3 bd.
home + 1 bd. apt. with creek
and pond in Bandon, Oregon.
Only \$215,000!
Donna Crouch Realty
(541) 347-1218

House for Sale

Almost 2 acres
with 3 bd., 2 bath home
minutes close to ocean & golf
resort! Privacy abounds in
Bandon, Oregon for \$195,000!
Donna Crouch Realty
(541) 347-1218

Wanted to Rent

CARMEL/PEBBLE BEACH - 4/3
Upscale new home. For monthly
rental in June or July of 2002.
References. Call 831-622-9125 or
241-384-3093 6/22

Shop locally. Support Pine
Cone advertisers!

CLASSIFIED
ADVERTISING DEADLINE:
TUESDAY 4:30 PM

FAX 624-8463
or call 624-0162
Call early to make
the cut!

Property Management • Property Management • Property Management • Property Management • Property Management

CARMEL REALTY COMPANY
Dolores, South of Seventh, Carmel
Established 1913
EXPERIENCED PROPERTY MANAGEMENT PROFESSIONALS
Barbara Mellon and Judy Ivey
The best service in the business for all your rental needs.
Long Term & Vacation Rentals
(831) 624-6484

BURCHELL HOUSE
PROPERTY MANAGEMENT
"Your Investment Deserves
Our Professional Attention"
~ "Exclusive" Virtual Tours on the Web
~ State-of-the-Art Accounting Management
~ Personal Showings Your Property
~ Repair & Maintenance Management
~ Current and Competitive Rents
Direct: 831.626.2150
Hotline: 831.626.5044
Office at Dolores, Carmel-by-the-Sea
burchellhouse.com

PROPERTY MANAGEMENT
Short term or long term, furnished or unfurnished. More than
30 years of managing property on the Monterey Peninsula.
We treat your home as if it were our own.
SAN CARLOS AGENCY
(831) 624-3846
www.sancarlosagency.com

Rental Properties

M/M
MITCHELL GROUP
PROPERTY MANAGEMENT, INC.
Invites you to see available rental properties located in
The Mitchell Group full page ad in the Real Estate section.
Vacation rentals are available by calling our office at
622-1000. All rentals may be viewed on our website at:
www.mitchellgroup.com

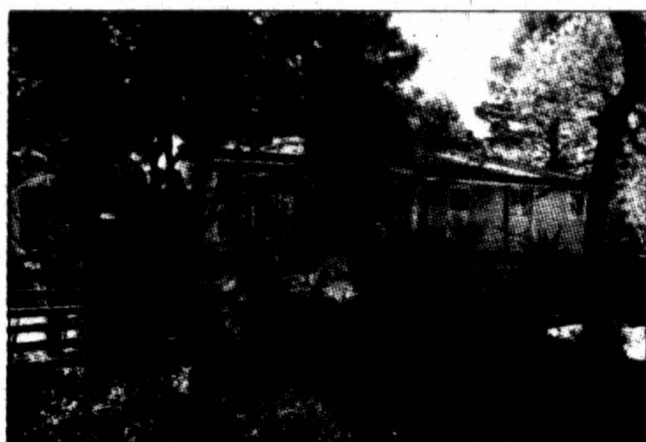
PineCone Property Management
Property Management is our only Business...
Professional Services for Discerning Owners!
831-626-2800
www.pineconerentals.com
26613 CARMEL CENTER PLACE ■ SUITE 202 ■ CARMEL
We are pleased to offer a
Variety of Vacation Homes
Exceptional Rental Properties
Long Term or Monthly Rentals
Furnished or Unfurnished

WIES NORBERG
REAL ESTATE AND
PROPERTY MANAGEMENT
Since 1980
624.1475
The Carmel Pine Cone 24-hour
FAX number 624-8463

COLDWELL BANKER

MONTEREY PENINSULA'S PREMIER REAL ESTATE COMPANY

CARMEL



"STONE'S THROW" On 2 lots just a "stone's throw" from beach & town is this charming 2500 sq. ft. compound. Offering 3 bedrooms, 3 baths & separate studio. Courtyard with garden. \$1,995,000.

IT'S A GREAT LIFE! Bright, friendly 3-bedroom, 2-bath recently remodeled home. Welcoming and comfortable, spacious, light and immaculate offering an open floor plan. A great opportunity. \$719,000.

CARMEL BEACH HOUSE! A wood-sided 3-bedroom, 2-bath cottage within the sound of the surf. Two-story cathedral ceiling in the living room and dining room with wet bar. Just a block to Village. \$1,195,000.

"ABOVE IT ALL!" Panoramic views from Pebble Beach to Point Lobos from this single-story spacious 2-bedroom, 2-bath house. Guest unit above attached 2-car garage & sheltered patio. \$1,495,000.

SPECTACULAR BAY VIEWS! Expansive Monterey Bay views from this 4+acre site in the Jacks Peak area! Three bedrooms and 2-1/2 baths in the main house, plus a separate guest house. \$1,875,000.

SERENE SEA VIEWS! Great ocean views of Carmel Bay, Cypress Point to Pebble Beach from this beautifully remodeled 4-bedroom, 3-bath home. On oversized lot two minutes to Carmel Beach. \$2,950,000.

SCENIC ROAD - CARMEL POINT! One of only 5 Carmel homes that touch the ocean, this 3-bedroom, 2-bath residence on an oversized lot boasts views from Point Lobos to the Pebble Beach. \$17,500,000.

CARMEL HIGHLANDS



LIKE LIVING ON PT. LOBOS! Windowed walls of glass overlook a timeless symphony of sea and surf, a spectacular setting for this 3-bedroom, 3-1/2-bath contemporary. Office exclusive. \$3,900,000.

HIGHLANDS HAVEN! Classic ocean-view 3-bedroom, 2-bath adobe on just under an acre built by Niel Weston. He hand-made the adobe brick and fashioned this home on a knoll overlooking the sea. \$895,000.

CASA SERENA! A villa, a stunning southwestern with dazzling ocean views on a

Down the Coast...
Here art and nature combine to form a place of incredible beauty.



"Rocky Point"

This promontory property is known all over the world and is fronted by "Sentinel Rock" which provides a dramatic meeting of waves and shoreline. A very special opportunity to acquire this private oceanfront 2-1/2-acre property capturing breathtaking and unobstructed ocean views. Just 10 miles south of Carmel-by-the-Sea. \$19,500,000.



spectacular site. Intimate master suite, a foodie's kitchen... fireplaces abound. Three bedrooms, den and 2 baths. \$2,200,000.

CARMEL VALLEY



CARMEL VIEWS HOME! This residence boasts attractive architecture, soaring ceilings and walls of glass framing fabulous mountain & bay views. Enjoy 3 or 4 bedrooms and view decks. \$1,395,000.

GARDEN CONDO! Pristine 2-bedroom, 2-bath unit with maximum sun exposure. Only one common wall, private deck & carport directly below, shopping across the street. Mid-Valley location. \$365,000.

STORYBOOK HOME! Charming 2-bedroom, 2-bath home nestled by a meadow. Cathedral ceiling living room with Carmel-stone fireplace, bonus room, new carpet & appliances; this home sparkles! \$499,900.

VALLEY ESTATE! This ranch-style 4-bedroom, 3-bath main home with 1-bedroom guest house and several outbuildings is sited on 9+ acres. Additional water available. Potential galore! \$1,450,000.

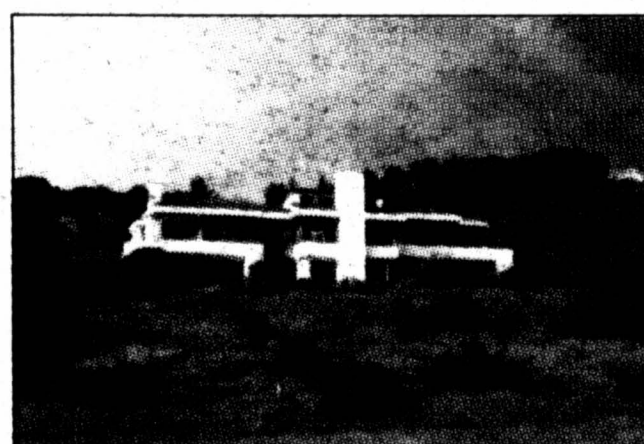
ONE OF A KIND! On 1.6 acres of spectacular gardens in desired Rancho Rio Vista, a handsome, unique 2-bedroom home with redwood interior plus large guest house. Total of 3 bedrooms & 4 baths. \$1,990,000.

MONTEREY

CONVENIENCE & COMFORT! On a quiet street, this home with filtered ocean views and recent upgrades is ready to move into. Three bedrooms & 2-1/2 baths plus detached bedroom/office. \$775,000.

DEL MONTE FAIRWAYS! On an elegant and tranquil, gated acre of luscious gardens & spacious patios sits this 3-bedroom, 3-1/2-bath French country home of 3400 sq. ft. In the sunbelt. \$1,750,000.

OFF HIGHWAY 68



YORK HILLS CONTEMPORARY! Mountain & valley views from the Laguna Seca Golf Course setting of this bright 5-bedroom, 4-1/2-bath home on a 1.97-acre lot. Passive solar & private drive. \$1,850,000.

PRISTINE GOLFER'S DREAM HOME! Newly-minted 3900+ sq. ft. Mediterranean sits near the 11th and 12th fairways of prestigious Pasadera Golf Course amid mountain views. Stunning 5-bedroom, 4-1/2 bath residence bespeaks elegance. \$2,250,000.

PACIFIC GROVE

WATER VIEWS! On a corner lot with curb appeal, a warm & welcoming 3-bedroom, 2-bath home with ocean views! Large family room, fenced back yard with easy-care garden & great location. \$599,000.

PIED-A-TERRE, EXTRAORDINARY! Midway between Lovers Point and Lucas Point, very near the Pacific's shore, is this 2200 sq. ft. home. It offers dazzling bay views, 3-bedrooms & 3-baths. \$1,475,000.

PEBBLE BEACH



FRONT LINE AT SPANISH BAY! Private and elegantly maintained townhome in coveted west-facing location with spectacular golf course & ocean views. Featuring 3 bedrooms, 3-1/2-baths. \$3,500,000.

CRISP CONTEMPORARY! This 2-bedroom, 2-bath unit has been freshly and simply remodeled. The top-floor location offers with elevator access and treetop views, giving a hint of the bay. \$599,000.

RELAXING RETREAT! Just up from Pebble Beach Hill Gate on a quiet street is a spacious 3200 sq. ft. contemporary home. High soaring ceilings and expansive glass, 3 bedrooms, 2-1/2 baths. \$1,295,000.

THE RESIDENCES AT SPANISH BAY! Unobstructed view down the 12th fairway of the Links from this stunning 4-bedroom, 4-1/2-bath townhome a short walk to the beach & Inn at Spanish Bay. \$2,850,000.

SUMPTUOUS CARMEL-STYLE! Classic Carmel lines! plus bold contemporary touches, near The Lodge with ocean vistas. Three-bedroom, 3-1/2 main house plus large guest house. \$4,500,000.



GRANDEUR IN PEBBLE BEACH! On a lane of grand homes, with ocean and forest views, this European-styled estate home boasts 5 bedrooms & 5-1/2 baths on 1.58-acre lot near The Lodge. \$4,995,000.



LOCAL TRADITIONS ■ GLOBAL CONNECTIONS ■ SINCE 1906

CARMEL-BY-THE-SEA 626.2221
Junipero Near Fifth

CARMEL RANCHO 626.2222
3775 Via Nona Marie

PEBBLE BEACH 626.2223
The Shops At the Lodge

VISIT ONE OF OUR 3 WORLD QUALITY WEBSITES

CARMEL-BY-THE-SEA 626.2224
Ocean Near Lincoln

PACIFIC GROVE 626.2226
Lighthouse Ave. at 14th St.

PEBBLE BEACH 626.2225
The Inn at Spanish Bay

www.cbdmr.com
www.cbnorcal.com
www.coldwellbanker.com